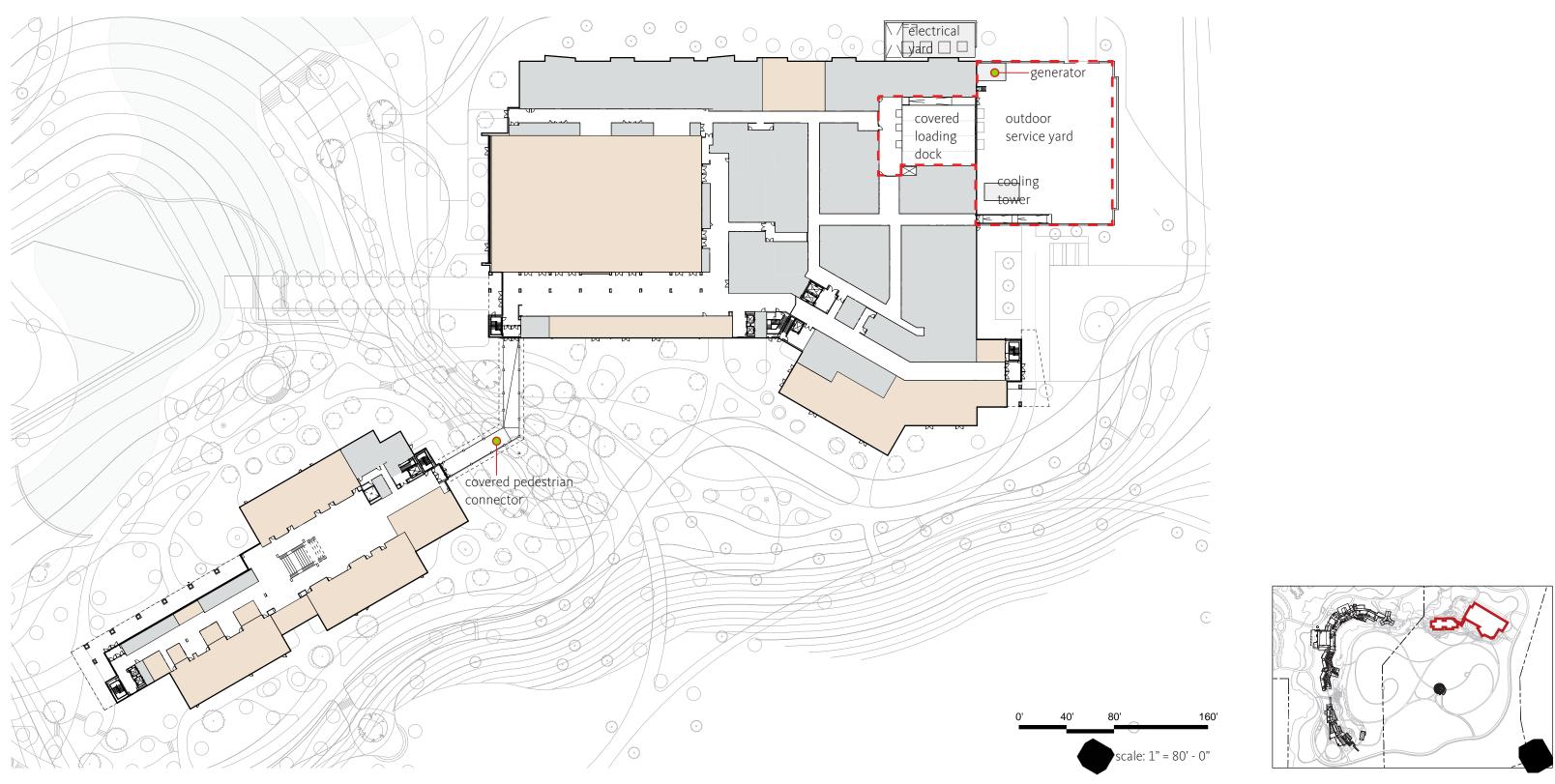
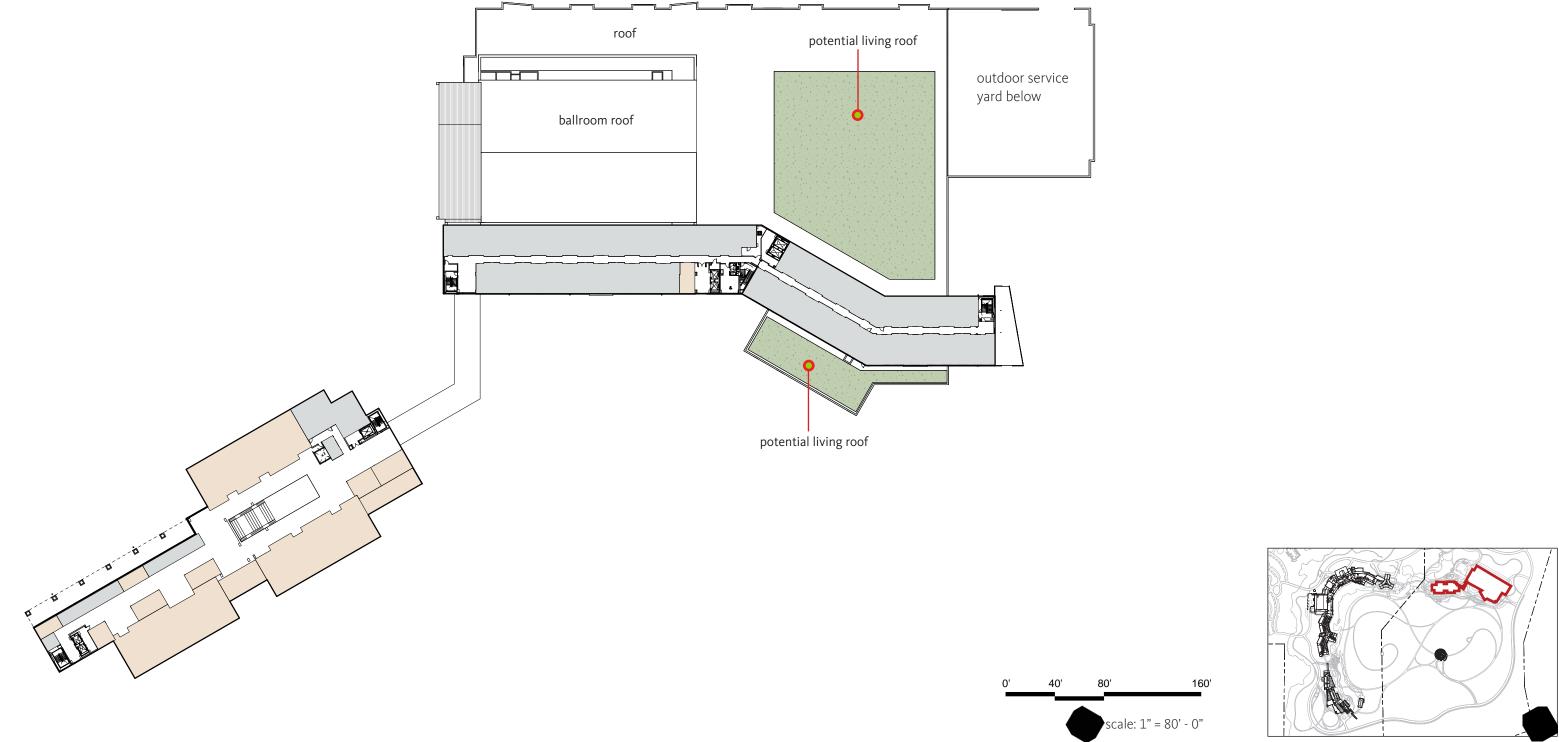
# **3 DELOITTE WAY**

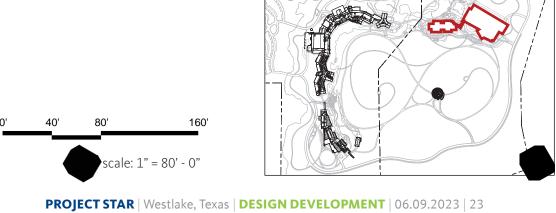
- floor plans
- roof plan
- section
- elevations
- renderings

### NE Building | Level 01



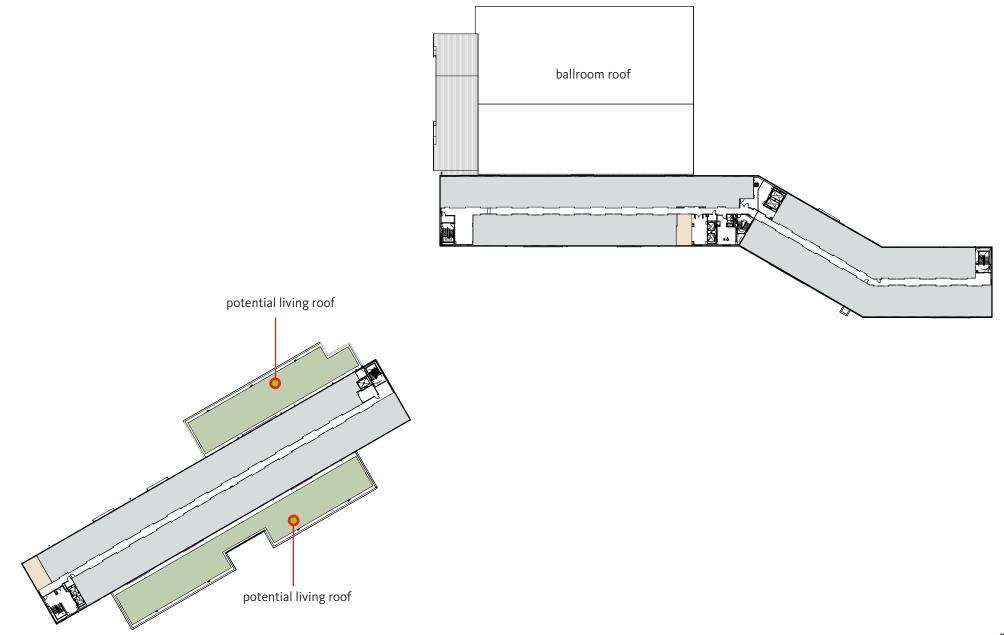
### NE Building | Level 02

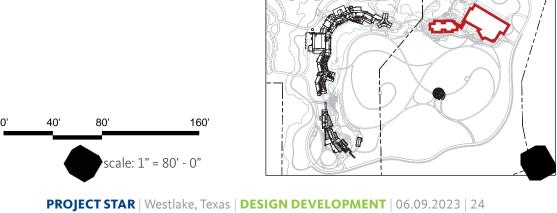




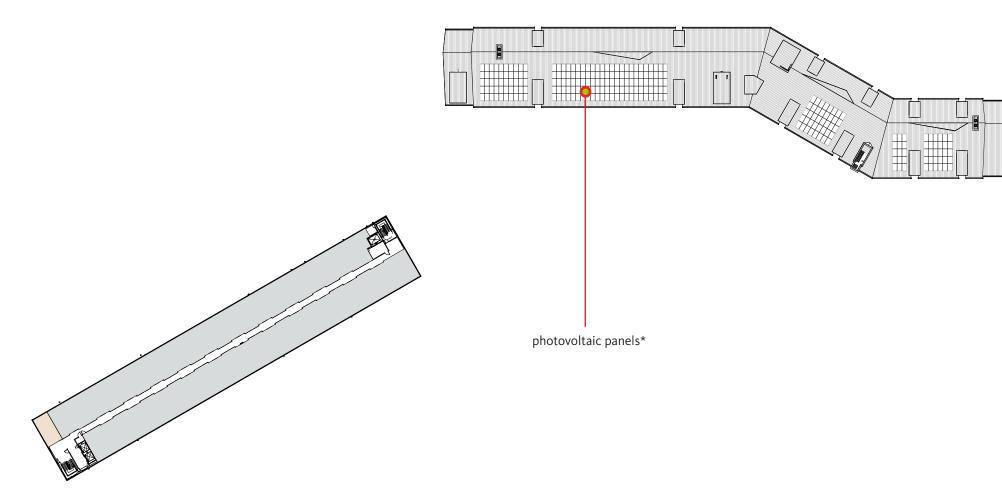
PRELIMINARY ERICK DEL ANGEL \*19496 | These documents are incomplete and not for permitting or construction

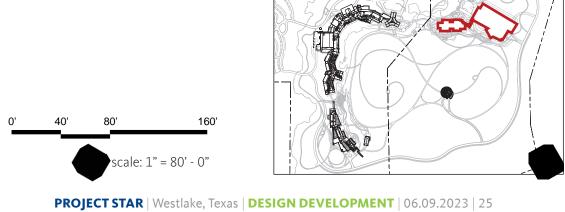
### NE Building | Level 03 - 04



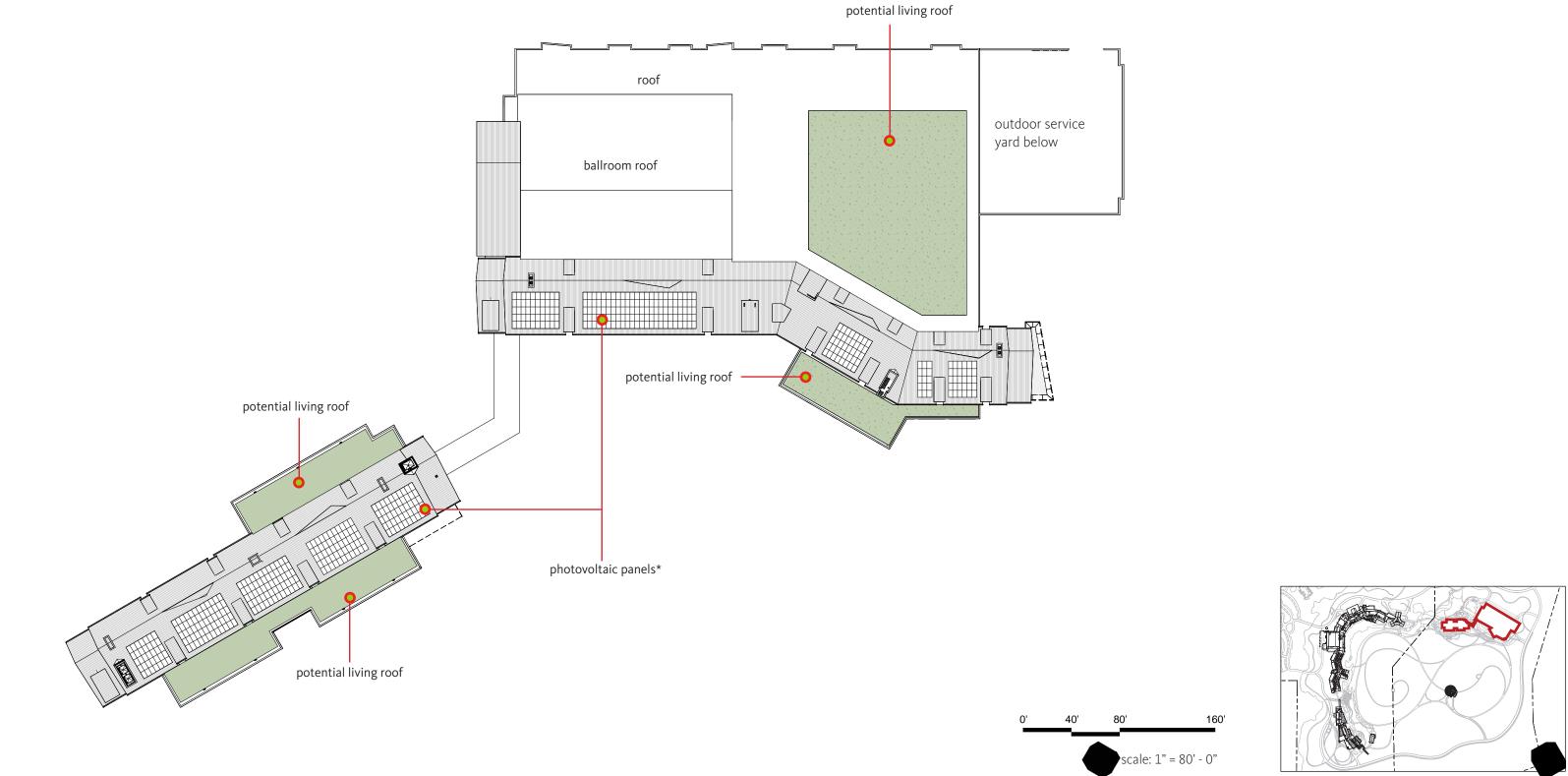


### NE Building | Level 05





### NE Building | Roof Plan





**PROJECT STAR** | Westlake, Texas | **DESIGN DEVELOPMENT** | 06.09.2023 | 26

### NE Building | Section



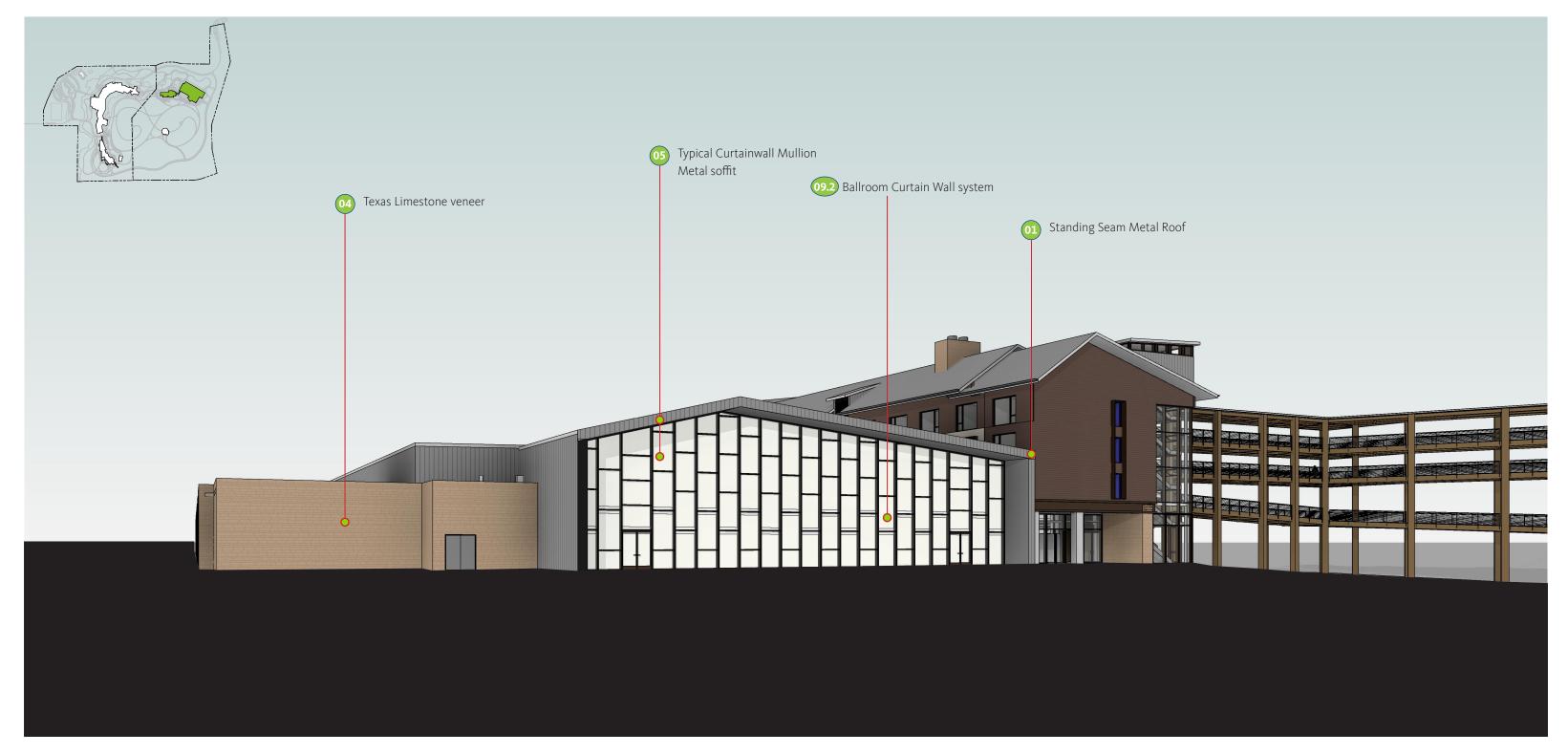
**PROJECT STAR** | Westlake, Texas | **DESIGN DEVELOPMENT** | 06.09.2023 | 27

#### **NE Building** | Exterior Finishes - All Materials Match DU1 Unless Noted





#### **NE Building** | Exterior Finishes - All Materials Match DU1 Unless Noted



#### **NE Building** | Typical Guestroom Exterior Finishes - All Materials Match DU1 Unless Noted





**09.2** Typ. Guestroom Window Glass Solarban 90 coating on Acuity glass Color: Transparent with Low reflectivity U Value: 0.29

\*New proposed material; compatible with DU1

#### **NE Building** | Typical Classroom Exterior Finishes - All Materials Match DU1 Unless Noted



04 Texas Limestone Veneer with Mortar Joints



08 Delta Millworks, Shou Sugi Ban, Charred Wood\*



06 Metal Fin Frame & Metal Panel - Blackened Steel Finish\*



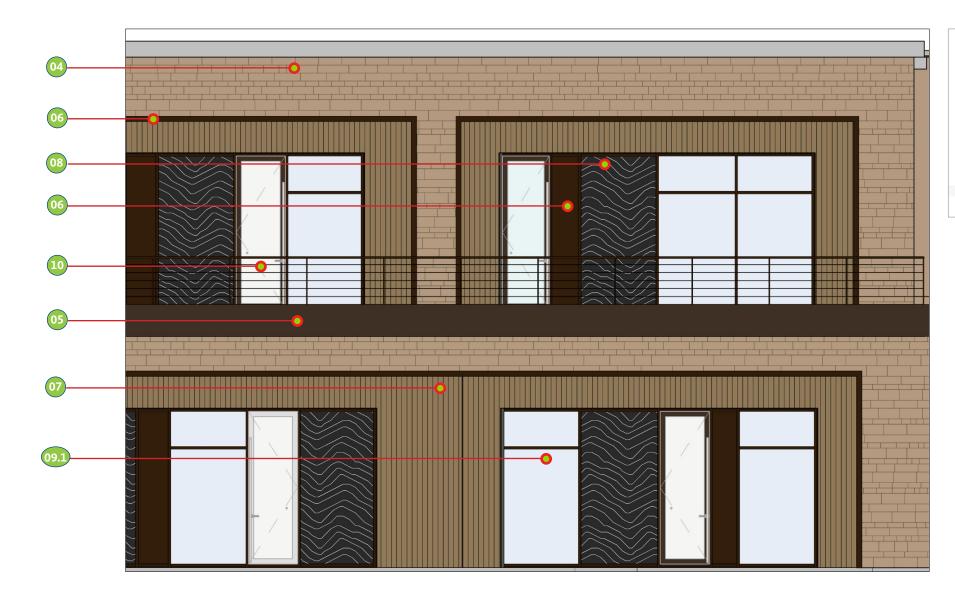




07 Wood Siding\*

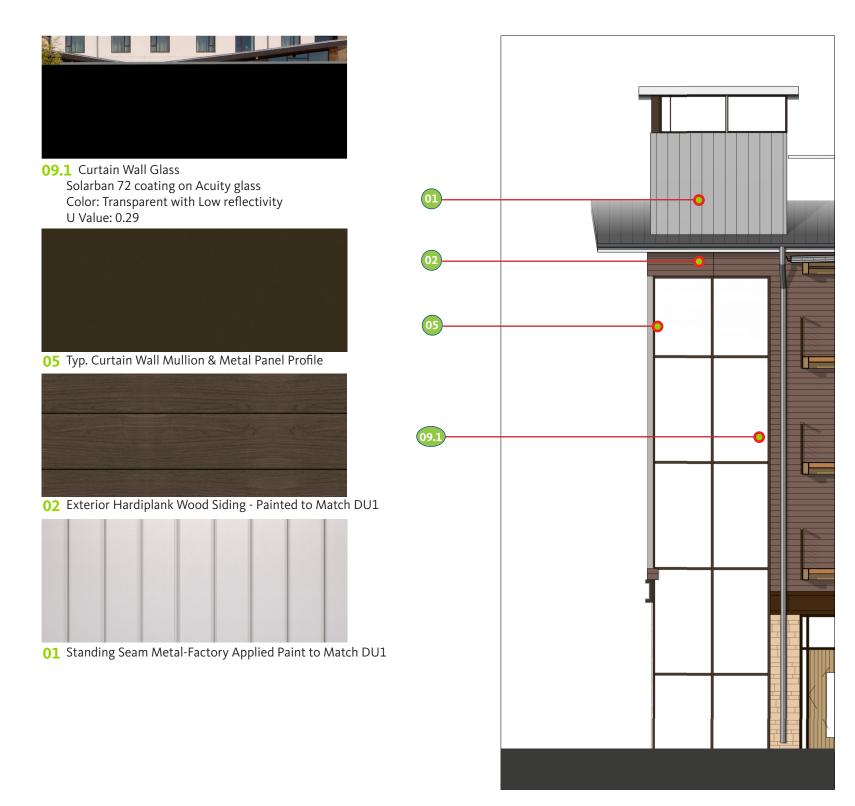


**09.1** Curtain Wall Glass Solarban 72 coating on Acuity glass Color: Transparent with Low reflectivity U Value: 0.29



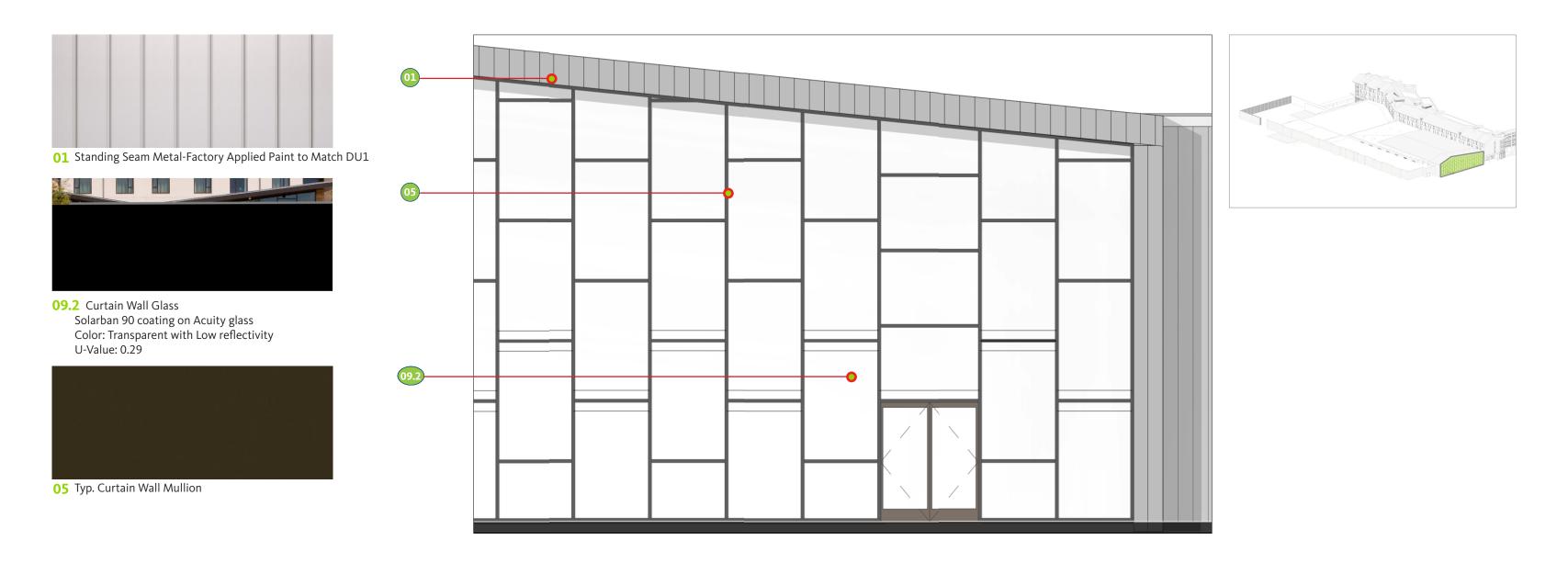


#### **NE Building** | Typical Egress Stair Exterior Finishes - All Materials Match DU1 Unless Noted





#### **NE Building** | Ballroom Exterior Finishes - All Materials Match DU1 Unless Noted



North East Building		
Total Exterior Walls *	124,428 <sup>*</sup>	100%*
Masonry		41%
Wood Appearance		21%
Metal Frame		1%
Glazing		36%
Trim		0%
Standing Seam Metal Panel		1%

\*SF and percentage totals include the primary, exposed building exterior wall materials (e.g., Masonry, Wood Appearance, Glazing). Building roof, walking surfaces, landscaped areas, railings and architectural screening elements are excluded. Doors are calculated within the primary wall material SF and percentage (e.g., Masonry, Wood Appearance, Glazing). Punched windows are included within the Glazing areas.

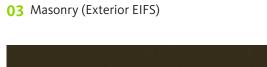
#### **EIFS Benefits Over Stucco:**

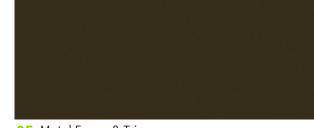
- Significantly Less Cracking Potential
- Better Long Term Operations & Maintenance Attributes
- Enhanced Thermal Performance
- Greater Fade Resistance from Long Term UV Exposure
- Improved Acoustic Performance
- More Sustainability Benefits Lower Carbon Footprint
- Offsite Prefabrication Potential for Higher Craftsmanship
- To be implemented as a Modern Drainable, Continuously Insulated, System















**08** Wood Appearance (Charred Wood)





**02** Wood Appearance (Exterior Hardie Plank)



**04** Masonry (Texas Limestone Veneer)



**07** Wood Appearance (Wood Siding)



09 Glazing

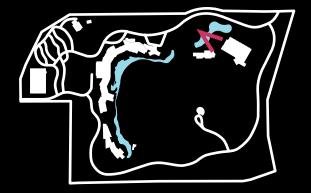
## NE Building I Aerial

72.71722

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ALL PRI



APR AND A CONTRACT



PRELIMINARY ERICK DEL ANGEL #19496

