



THE TOWN OF  
**WESTLAKE**

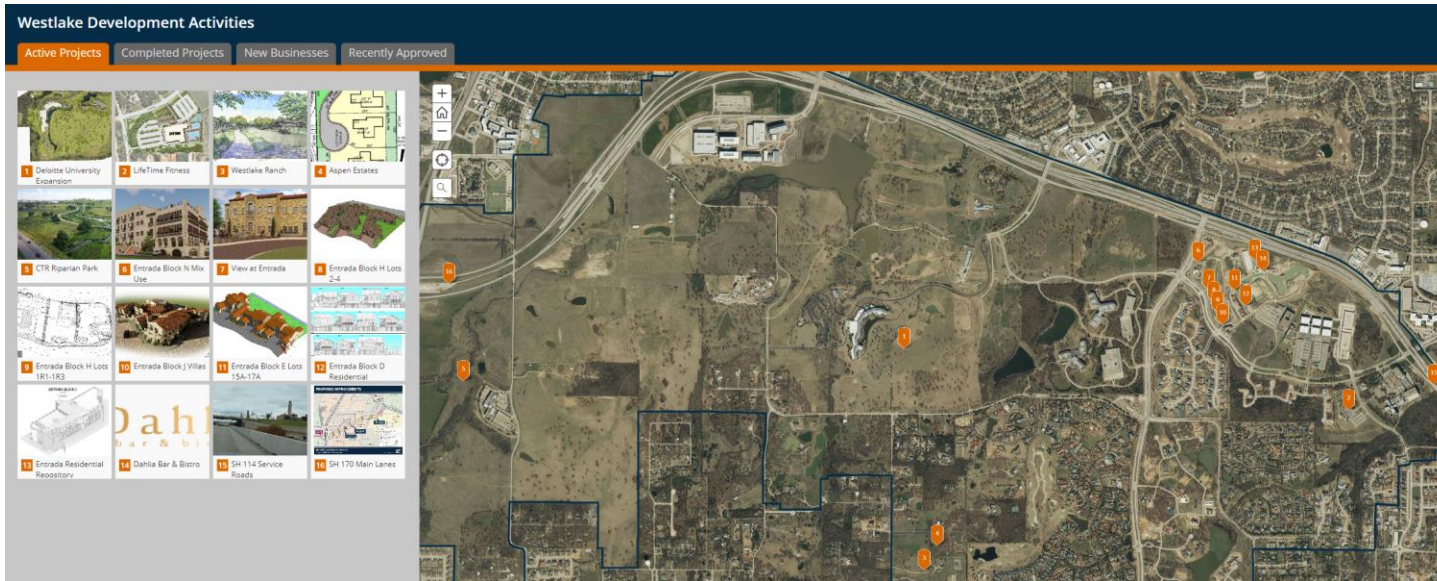
DISTINCTIVE BY DESIGN

# DEVELOPMENT SNAPSHOT

FEBRUARY 2024

# DEVELOPMENT ACTIVITIES MAP—FEBRUARY 2024

The Town uses interactive web maps that can be viewed on our website which will be regularly updated. You may visit them by [clicking here](#), clicking the map below, or scanning the QR Code.



## DEVELOPMENT STATUS—FEBRUARY 2024

PROJECT NO.	PROJECT / DEVELOPMENT NAME	LAND USE	NUMBER OF LOTS/UNITS	SIZE (SF/ACRES)	DEVELOPMENT STATUS	PERCENT COMPLETE	ESTIMATED COMPLETION
1	<b>Granda Guard House</b>	Residential	1	348 sf	New guard house for Granda is now under construction.	N/A	2024
2	<b>Dutch Bros. Coffee</b>	Commercial	1	950 sf	Dutch Bros. Coffee is now under construction on 2401 US 377.	30%	Spring 2024
3	<b>Villaggio</b>	Residential	17 lots	30 acres	Site infrastructure is under construction. Expected to be complete Spring 2024.	N/A	N/A
4	<b>Deloitte University Expansion</b>	Commercial	5 buildings	800 guest rooms; 750,000 square feet	Site infrastructure is under construction with the foundations of the buildings permitted. Vertical building permits have been submitted and are awaiting revisions from the architect. Vertical construction permits are expected to be issued early 2024.	N/A	2026
5	<b>LifeTime Fitness</b>	Commercial	1 lot	100,000 sf	Under construction and expected to open Summer 2024.	N/A	Fall 2024
6	<b>Westlake Ranch</b>	Residential	32 lots	0.5-0.75 acre lots	Civil construction is complete with the amenity center and a few homes under construction.	4%	N/A

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7	Aspen Ranch	Residential	3 lots	3.8 acres	Civil construction is complete. Building permits may be submitted.	N/A	N/A
8	CTR Riparian Park	Open Space	N/A	N/A	Circle T Ranch is installing irrigation and wells for their master planned open space.	N/A	N/A
9	Entrada Block N Lot 1	Mixed-Use	10 Condo units	7,000 sf retail	This 5-story building containing ground floor retail and 10 condominium units is under construction.	N/A	2024
10	Entrada Block H Detach Homes Lots 2-4	Residential	3 lots	4,500 sf avg	Permits for these homes were issued in early August 2021.	50%	2024
11	Entrada Block H Detach Homes Lots 1R1-1R3	Residential	3 lots	4,500 sf avg	Permits for these 3 lots have been issued.	20%	2024
12	Entrada Block D Detach Homes	Residential	10 lots	2,000 sf avg	Permits for all 10 lots have been issued.	40%	2024
13	Dahlia Bar & Bistro	Restaurant	1 restaurant	~6,000 sf	The third area to be finished out on the restaurant row is Dahlia Bar & Bistro, a Mediterranean fusion restaurant.	N/A	2024

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14	Hugo's Invitados	Restaurant	1 restaurant	~9,000 sf	Finish out permitted. Expected completion February 2024.	N/A	2024
15	SH 114	Highway	N/A	N/A	Portions in Westlake are complete except for U-Turn under Solana Blvd. The westbound service road in Southlake from Dove Rd to Solana/Kirkwood Blvd is under construction and is expected to be complete 2024.	N/A	2024
16	SH 170	Highway	N/A	N/A	All pavement operations are complete and should be open to the public soon. Last items to complete are landscaping, guardrails, and lane striping.	95%	Spring 2024
17	Fidelity Pond Dredging	Commercial	N/A	N/A	Fidelity is digging out sediment build up in their ponds so they detain water to a better caliber. The sediment is being stockpiled on their property north of Capital Pkwy.	N/A	2024

## RESIDENTIAL SUBDIVISION BUILDOUT—FEBRUARY 2024

SUBDIVISION NAME	PLAT DATE	TOTAL LOTS	VACANT LOTS	ACRES	DEVELOPMENT STATUS	PERMITS ISSUED	HOMES COMPLETE	PERCENT COMPLETE
Carlyle Court	3/7/2016	8	0	10.2	Built-out	8	8	100%
Carpenter Addition	12/9/1977	14	1	31.6	Built-out	13	13	92.86%
Entrada	12/14/2015	322	260	112	Under development	62	33	14.75%
Glenwyck Farms	3/13/2000	84	1	104.3	Built-out	83	82	98.21%
Granada	6/17/2013	84	2	84.3	Mostly built-out	82	73	92.26%
Knolls at Solana	05/07/2020	56	20	62.5	Under development	36	23	52.68%
Paigebrooke	3/8/2004	8	4	20.3	Mostly built-out	4	4	50%
Quail Hollow	3/28/2016	91	35	188.3	Under development	56	30	47.25%

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Shelby Estates	4/7/1981	6	1	65.7	Mostly built-out	5	5	83.33%
Solana Hills	-	55	55	32	Zoning approved	0	0	0%
Stagecoach Hills	8/16/1971	22	3	55.5	Mostly built-out	19	19	86.36%
Stagecoach Area Misc.	-	28	5	-	Mostly built-out	23	23	82.14%
Terra Bella	11/11/2008	27	1	54.8	Mostly built-out	26	26	96.30%
Vaquero	3/27/2000	298	15	510	Mostly built-out	283	277	93.96%
Villaggio	-	17	17	30	Under development	0	0	0%
Westlake Ranch/ Aspen Ranch	9/27/2022	35	31	35	Under Development	4	0	5.71%

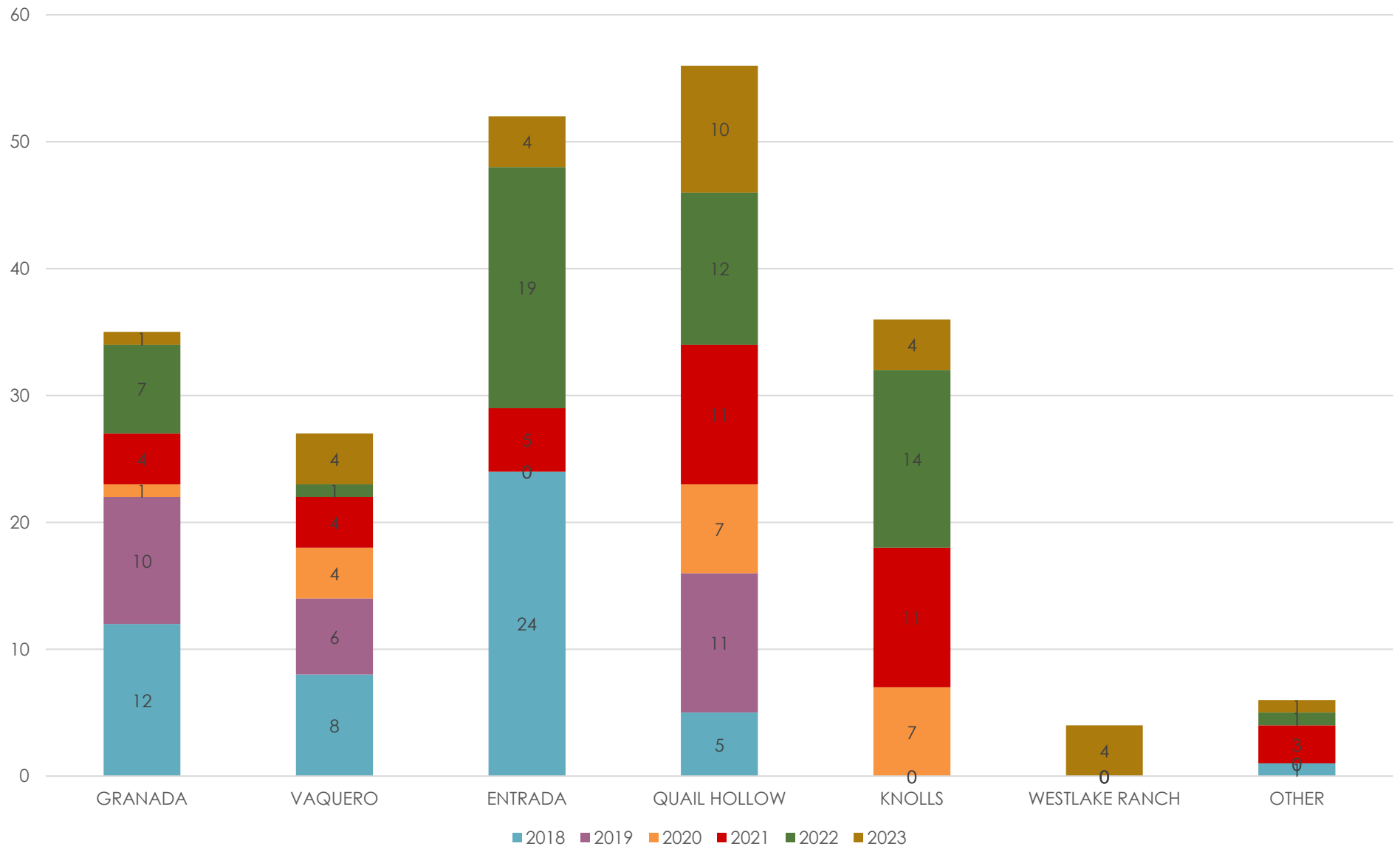
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Wyck Hill	4/3/1996	13	1	22.4	Mostly built-out	12	12	92.31%
Other/ Miscellaneous	-	39	16	-	Mostly built-out	23	23	58.97%
<b>Total</b>		<b>1,207</b>	<b>468</b>	<b>1424.90</b>		<b>739</b>	<b>651</b>	<b>57.58%</b>

## RESIDENTIAL PERMITS PER YEAR BY SUBDIVISION—JANUARY 2015 – FEBRUARY 2024

YEAR	VAQUERO	GRANADA	TERRA BELLA	CARLYLE	ENTRADA	QUAIL HOLLOW	KNOLLS	WESTLAKE RANCH	OTHER	TOTAL
2015	15	15	4	0	0	0	0	0	2	36
2016	10	13	2	4	0	0	0	0	0	29
2017	5	16	2	1	3	0	0	0	1	28
2018	8	12	2	2	24	5	0	0	1	54
2019	6	10	1	1	0	11	0	0	0	29
2020	4	1	2	0	0	7	7	0	0	21
2021	4	4	0	0	5	11	11	0	3	38
2022	1	7	0	0	19	12	14	0	1	54
2023	4	1	0	0	4	10	4	4	1	28
2024	0	1	0	0	0	0	0	0	0	1
<b>Total</b>	<b>57</b>	<b>80</b>	<b>13</b>	<b>8</b>	<b>55</b>	<b>56</b>	<b>36</b>	<b>4</b>	<b>9</b>	<b>318</b>

# Residential Permits Per Year by Subdivision | January 2018 - December 2023



## ENTRADA PROJECT STATUS—FEBRUARY 2024

PROJECT NAME	TOTAL LOTS / UNITS	SIZE	CONTRACTOR	DEVELOPMENT STATUS	ESTIMATED COMPLETION
CVS Pharmacy	1	13,378 sf	Wurzel Builders	Completed	February 2017
Primrose Daycare	1	12,460 sf	Cooper General Contractors	Completed	May 2017
Entrada Sales Office	1	3,463 sf	Crescent Custom Homes	Completed	June 2018
Entrada Retail Corner	2	Retail Office: 43,336 sf	Diesel Design Build	All finish-out permits complete. 3 Leases Remain	2021
Entrada Starbucks	1	2,834 sf	Diesel Design Build	Completed	2020
Entrada Residential Block J	3	4,500 sf avg	Calais Custom Homes	Completed	2019
Entrada Residential Block E	12	5,000 sf avg	Crescent Custom Homes	Completed	2020
Entrada Residential Block I	12	3,600 sf avg	Pentavia Custom Homes	Completed	2020

## ENTRADA PROJECT STATUS—FEBRUARY 2024

PROJECT NAME	TOTAL LOTS / UNITS	SIZE	CONTRACTOR	DEVELOPMENT STATUS	ESTIMATED COMPLETION
Pedestrian Bridge	1	-	Crescent Custom Homes	Completed	2020
Aragon Parking Garage	1	148,398 sf	Diesel Design Build	Completed	2022
Wedding Chapel	1	3,207 sf	Crescent Custom Homes	Completed	2022
Reception Hall	1	14,418 sf	Crescent Custom Homes	Completed	2022
Restaurant Row Building 1	3 restaurants	15,422 sf	Crescent Custom Homes	Shell Complete	2022
Restaurant Row Building 2	3-4 restaurants	22,414 sf	Crescent Custom Homes	Shell Complete	2022
The View at Entrada	1	5,725 sf	Highland Builders	Completed	2024
Entrada Residential Block J	3	4,500 sf avg	Bernal Custom Homes	Completed	2024

## ENTRADA PROJECT STATUS—FEBRUARY 2024

PROJECT NAME	TOTAL LOTS / UNITS	SIZE	CONTRACTOR	DEVELOPMENT STATUS	ESTIMATED COMPLETION
Block N Mixed Use	1 lot 10 condominium units	8,200 sf retail 1,785.1 avg sf condominium	Bernal Custom	Under construction.	2024
Block H Detached Homes	6 lots	4,500 sf avg	Crescent Custom Homes and David Ford Builders	Building permits were issued for all 6 lots	2024
Block E Detached Homes	3	4,300 sf avg	Crescent Custom Homes	2 / 3 homes complete.	2023
Block D Detached Homes	10	2,000 sf avg	AMR Westlake Villas	Building permits were issued for all 10 lots	2024
Hugo's Invitados	1 Restaurant	9,000 sf	Five Points Holding	Permit issued and tenant finish out under construction.	2024
Dahlia	1 Restaurant	6,000 sf	Genco Commercial	<b>Work has stalled by contractor.</b>	N/A
Copa Club	1 Restaurant	~ 8,000 sf	Whitely Brothers	<b>Work has stalled by contractor.</b>	-
SH 114 Service Rd Connection	N/A	N/A	Pennington	<b>The retaining wall has been built, but overall work has stalled by the contractor.</b>	N/A

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Jimi Niwa / Sushi Zo	1 Restaurant	N/A	N/A	No permit application received to date.	N/A
Residential Repository	1 lot	120,000 sf	Ringtex Group / AMR / Mooreland	The contractor has stopped work, and the site has been abandoned.	N/A