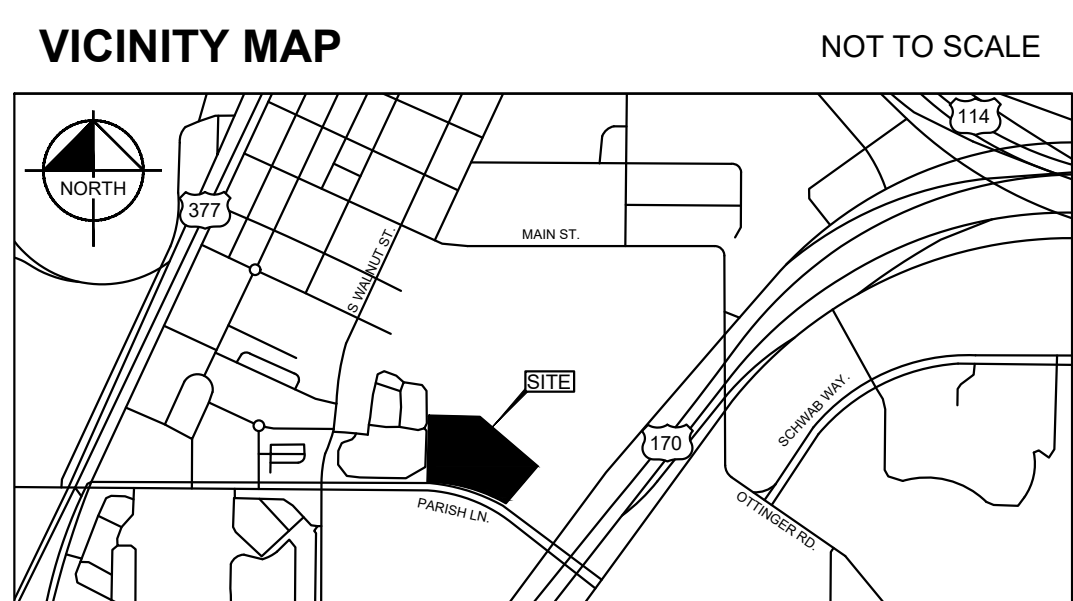
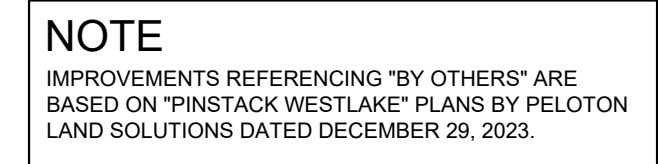




SITE PLAN

PINSTACK WESTLAKE

LOT 1, BLOCK 1

5.50 ACRES

SITUATED IN THE M.E.P. & P.R.R. SURVEY

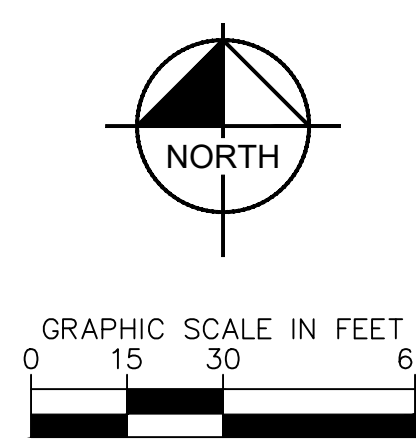
ABSTRACT NO. 923

TOWN OF WESTLAKE, DENTON COUNTY, TEXAS

DATE: DECEMBER 29, 2023

DEVELOPER: WINDHAVEN PROPERTIES, LLC. 5310 Harvest Hill Road, Suite 200 Dallas, TX 75230 Tel. No. 214-751-8153 Contact: Mark Moore	CIVIL ENGINEER: KIMLEY-HORN AND ASSOCIATES, INC. 13455 Noel Road, Two Galleria Office Tower, Suite 7 Dallas, Texas 75240 Tel. No. 972-770-1300 Contact: Caitlin R. Bobb, P.E.
--	---

SITE DATA TABLE	
GENERAL SITE DATA	
ZONING (FROM ZONING MAP)	PLANNED DEVELOPMENT
USE	COMMERCIAL AMUSEMENT
LOT AREA (SF)	239,797
LOT AREA (AC)	5.50
BUILDING FOOTPRINT AREA (SF)	53,360
TOTAL FLOOR AREA (SF)	53,360
BUILDING HEIGHT	35'-6"
FLOOR AREA RATIO (RATIO - XXX:1)	0.22:1
PARKING	
PARKING RATIO (FROM ZONING ORDINANCE) BASED ON TOTAL FLOOR AREA	RETAIL: 1 SPACE PER 200 SF
	RESTAURANT/CAFE: 1 SPACE PER 100 SF
REQUIRED PARKING (# SPACES)	RETAIL (48,485 SF): 243 SPACES
	RESTAURANT/CAFE (4,875 SF): 49 SPACES TOTAL: 292 SPACES
TOTAL PARKING PROVIDED (# SPACES)	323
ACCESSIBLE PARKING REQUIRED (# SPACES)	8
ACCESSIBLE PARKING PROVIDED (# SPACES)	8
PARKING IN EXCESS OF 110% OF REQUIRED PARKING (# SPACES)	2

[illegible]

Kimley»»Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700
DALLAS, TEXAS 75240 214-239-3870
PHONE: (214) 239-3870
FAX: (214) 239-3870
TEXAS REGISTERED ENGINEERING FIRM E-928

PROJECT No. 064041017
DATE: DEC. 2023
SCALE: AS SHOWN
DESIGNED BY: AL
DRAWN BY: CDO
CHECKED BY: CRB

PINSTACK WESTLAKE
LOT 1, BLOCK 1
CIRCLE T NORTH COMMERCIAL ADDITION
TOWN OF WESTLAKE, TEXAS

SITE PLAN

SHEET NUMBER
C-100

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REVISION LOG

DATE	DESCRIPTION	DELTA
12-27-2023	95% PROGRESS SET	

PROJECT NO. 23-077

ISSUE DATE: 12-27-2023

ISSUE NAME:
95% PROGRESS SET

SHEET NO.

E1.02

SITE PLAN - PHOTOMETRIC



11700 Preston Road - Suite 660 #194
Dallas, TX 75230 - 214.2959571

c3eng.net
Registration #10571

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Luminaire Schedule							
Project: Shopping Center - Westlake, TX							
Symbol	#	Label	Arrngmnt	Description	LLF	Lumens	Watts
	1	GL2-IS	SINGLE	GL18-2-265LA-9690-NW-IS	0.85	25068	265
	13	GL4-IS	SINGLE	GL18-4-265LA-9690-NW-IS	0.85	23197	265
	3	GL5-2	BACK-BACK	(2) GL18-5-230LA-9680-NW	0.85	29265	230
	9	WP	SINGLE	GWM-A08-740-T3M	0.85	5314	30
	21	WS	SINGLE	CW06XXPC 40L 35K XW XX CL XX	0.85	2754	27

Calculation Summary							
Project: Shopping Center - Westlake, TX							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Overall Site	Illuminance	Fc	2.41	17.1	0.1	24.10	171.00

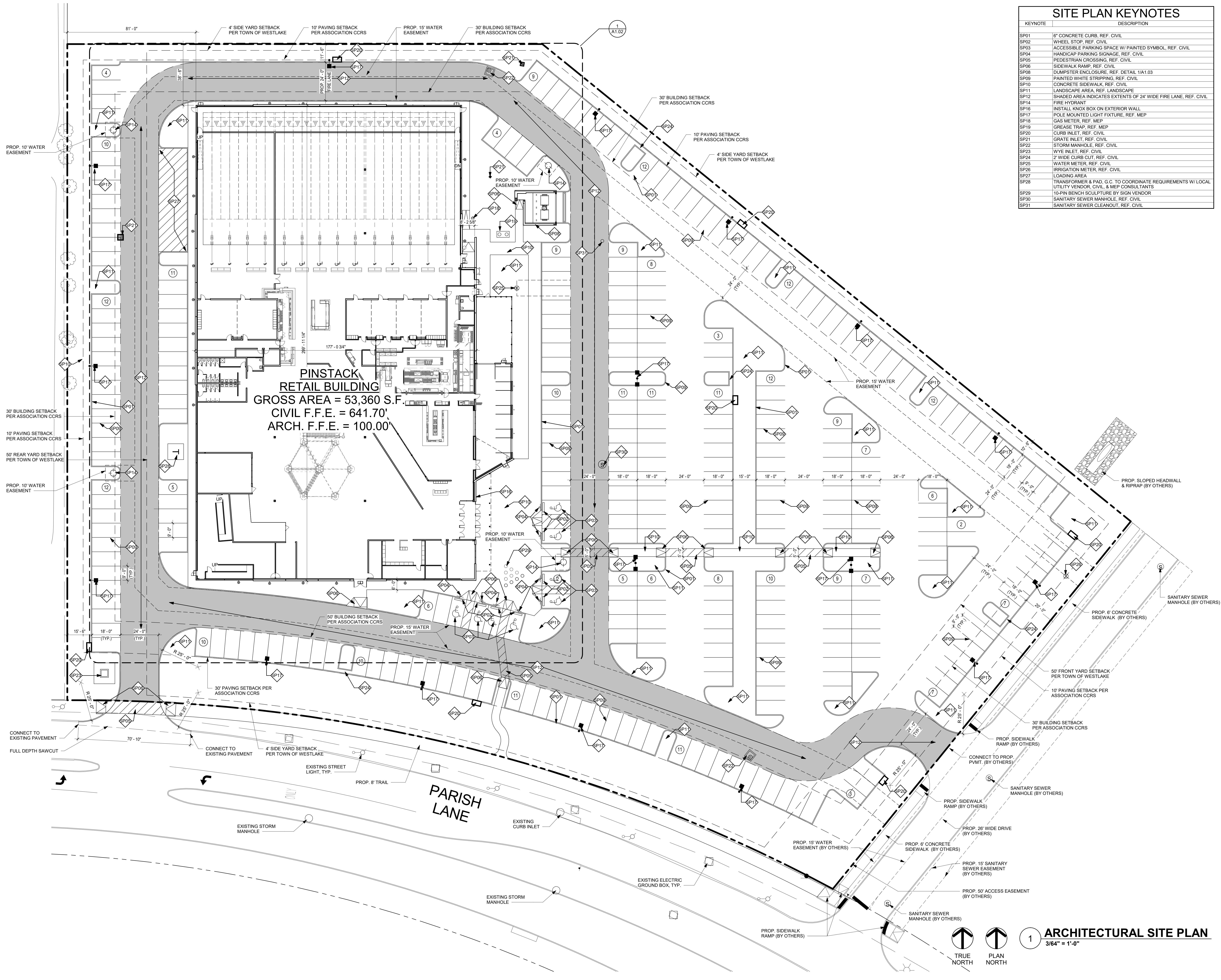
ALL VALUES SHOWN ARE HORIZONTAL MAINTAINED FOOTCANDLES AT
FINISHED GRADE (U.O.N.)

FIXTURE DISTRIBUTION TEMPLATES ARE SHOWN AT 0.50 MFC FOR
REFERENCE USE ONLY.

VALUES DO NOT INCLUDE CONTRIBUTION FROM ADJACENT
PROPERTIES OR DECORATIVE LIGHTING NOT SHOWN.

FOOTCANDLE VALUES DO NOT INCLUDE OBSTRUCTIONS FROM TREES,
SHRUBS, LANDSCAPING, VEHICLES OR FENCING

1 SITE PLAN - PHOTOMETRIC
SCALE: 1" = 30'-0"



SITE PLAN KEYNOTES

KEYNOTE	DESCRIPTION
SP01	6" CONCRETE CURB, REF. CIVIL
SP02	WHEEL STOP, REF. CIVIL
SP03	ACCESSIBLE PARKING SPACE W/ PAINTED SYMBOL, REF. CIVIL
SP04	HANDICAP PARKING SIGNAGE, REF. CIVIL
SP05	PEDESTRIAN CROSSING, REF. CIVIL
SP06	SIDEWALK RAMP, REF. CIVIL
SP08	DUMPSTER ENCLOSURE, REF. DETAIL 1/A1.03
SP09	PAINTED WHITE STRIPPING, REF. CIVIL
SP10	CONCRETE SIDEWALK, REF. CIVIL
SP11	LANDSCAPE AREA, REF. LANDSCAPE
SP12	SHADED AREA INDICATES EXTENTS OF 24' WIDE FIRE LANE, REF. CIVIL
SP14	FIRE HYDRANT
SP16	INSTALL KNOX BOX ON EXTERIOR WALL
SP17	POLE MOUNTED LIGHT FIXTURE, REF. MEP
SP18	GAS METER, REF. MEP
SP19	GREASE TRAP, REF. MEP
SP20	CURB INLET, REF. CIVIL
SP21	GRATE INLET, REF. CIVIL
SP22	STORM MANHOLE, REF. CIVIL
SP23	WYE INLET, REF. CIVIL
SP24	2' WIDE CURB CUT, REF. CIVIL
SP25	WATER METER, REF. CIVIL
SP26	IRRIGATION METER, REF. CIVIL
SP27	LOADING AREA
SP28	TRANSFORMER & PAD, G.C. TO COORDINATE REQUIREMENTS W/ LOCAL UTILITY VENDOR, CIVIL, & MEP CONSULTANTS
SP29	15-PIN BENCH SCULPTURE BY SIGN VENDOR
SP30	SANITARY SEWER MANHOLE, REF. CIVIL
SP31	SANITARY SEWER CLEANOUT, REF. CIVIL

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REVISION LOG

DATE	DESCRIPTION	DELTA

PROJECT NO. 23-077

ISSUE DATE: 12-29-2023

ISSUE NAME:
DRC MEMO RESPONSE

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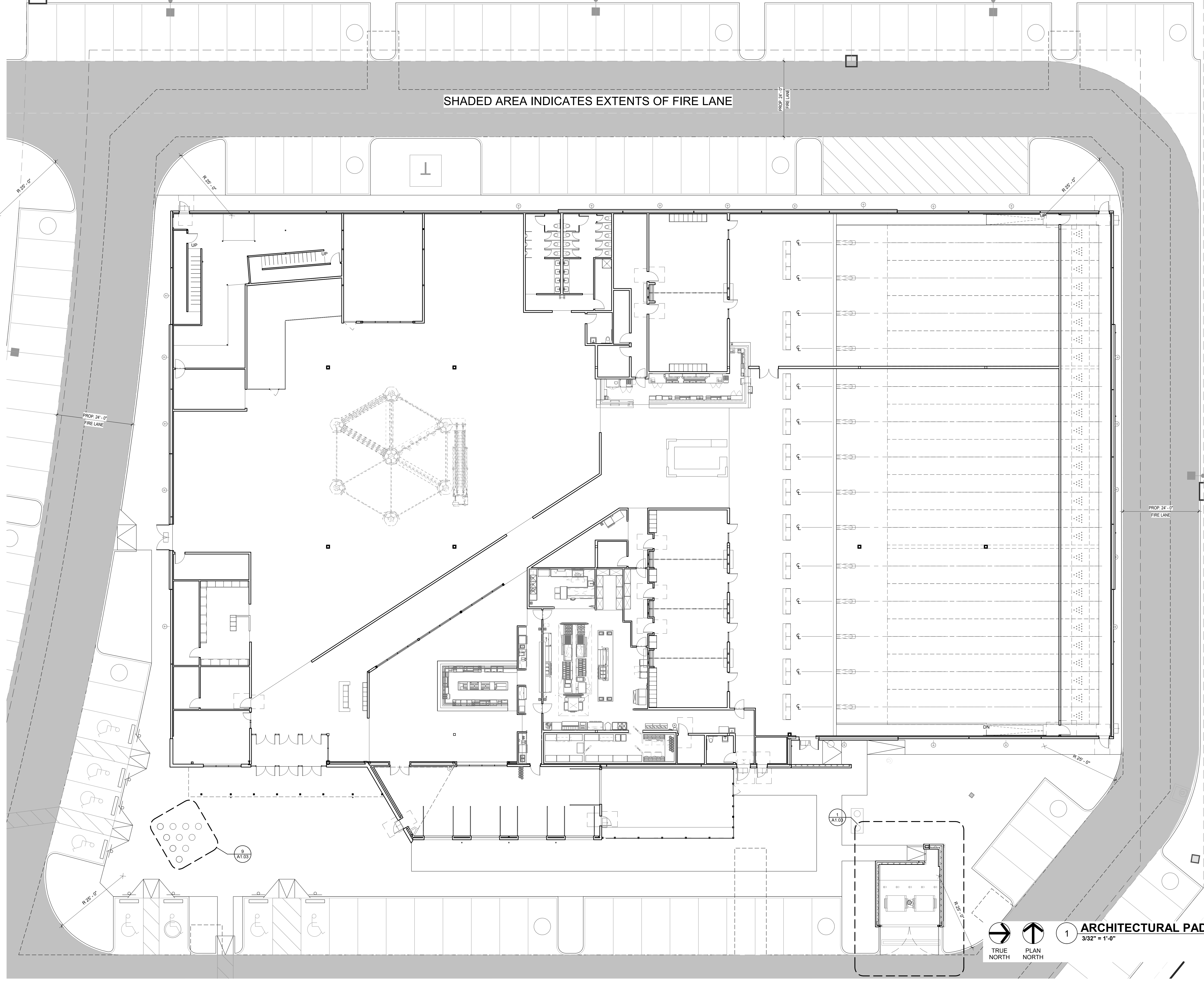
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A1.01

ARCHITECTURAL SITE PLAN

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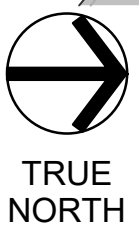
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SHADED AREA INDICATES EXTENTS OF FIRE LANE

PROP. 24'-0"
FIRE LANE

PROP. 24'-0"
FIRE LANE



1

ARCHITECTURAL PAD PLAN
3/32" = 1'-0"

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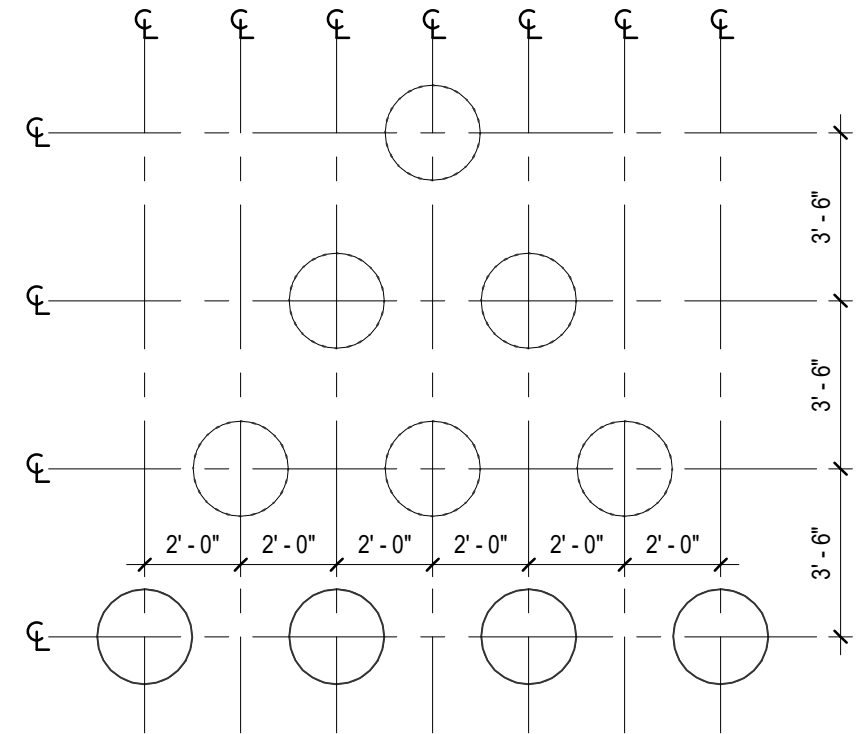
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A1.02

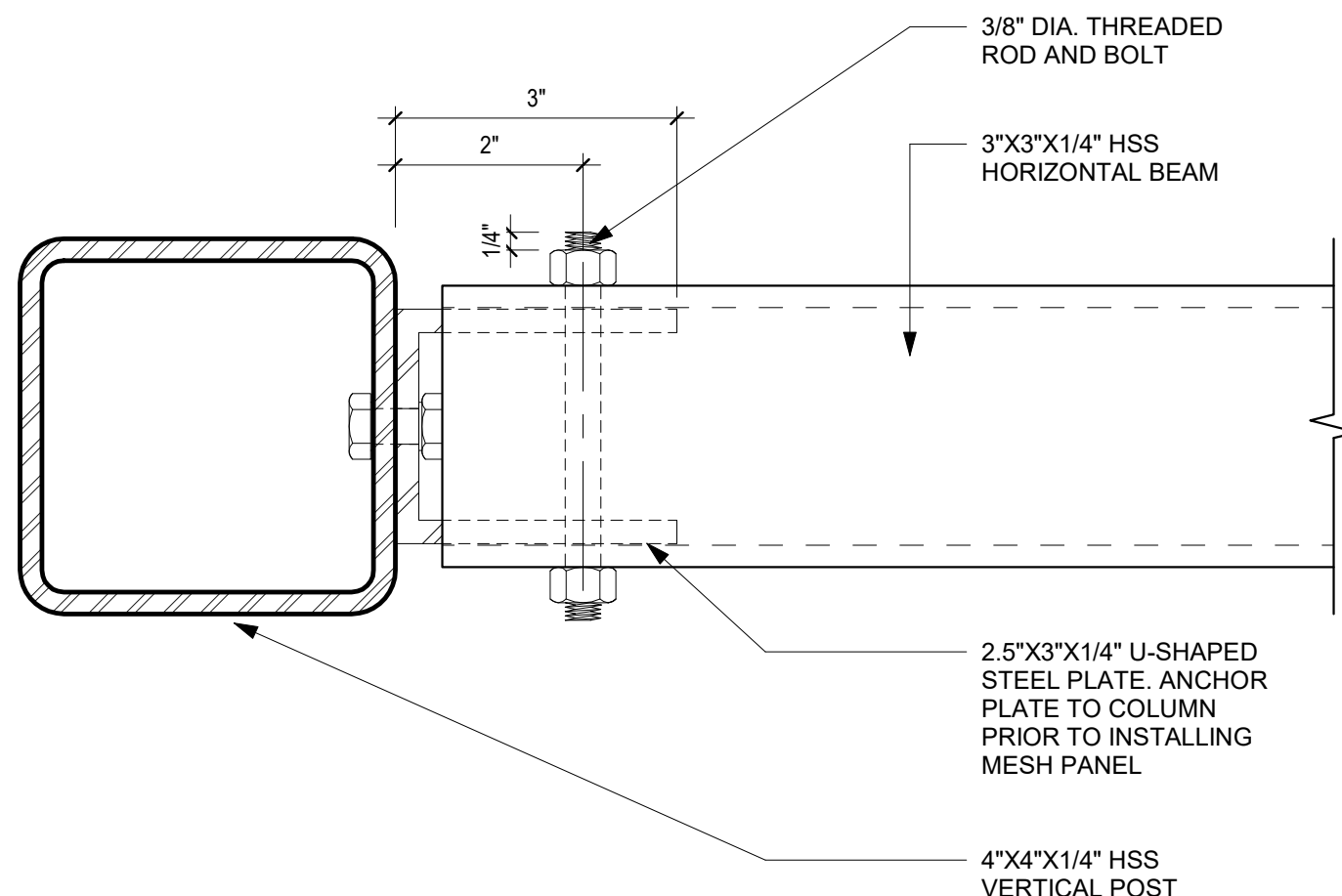
ARCHITECTURAL PAD PLAN

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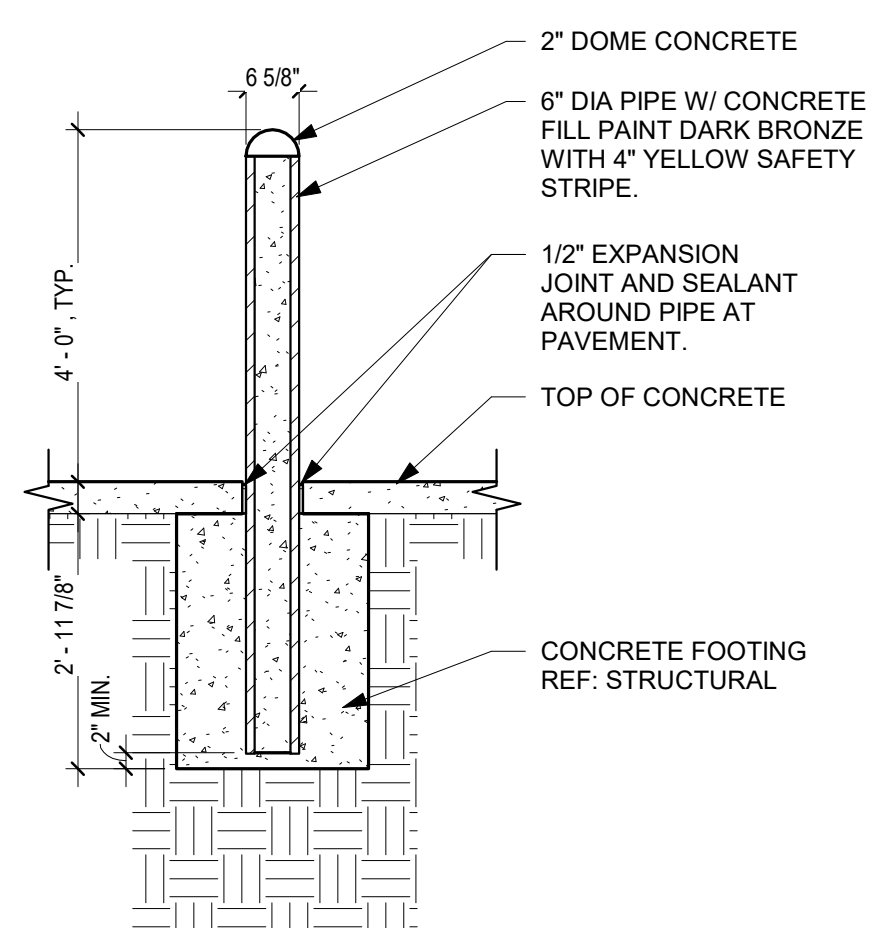
INTERNALLY ILLUMINATED BENCH DETAIL SUPPLIED AND INSTALLED BY VENDOR (TEXAS PRO SIGNS). G.C. TO PROVIDE POWER PER ELECTRICAL DRAWINGS.



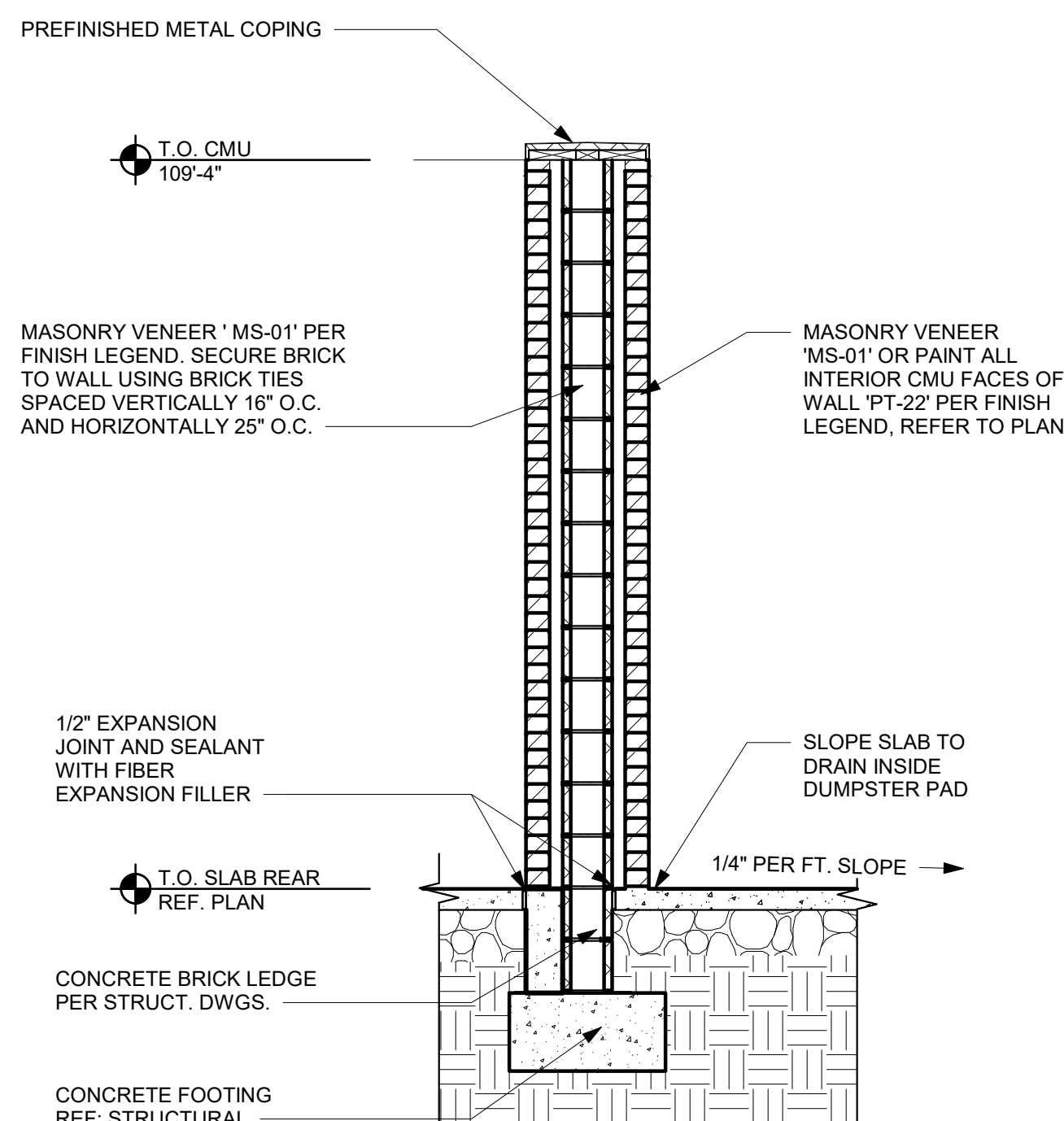
9 10-PIN BENCH PLAN DETAIL
1/4" = 1'-0"



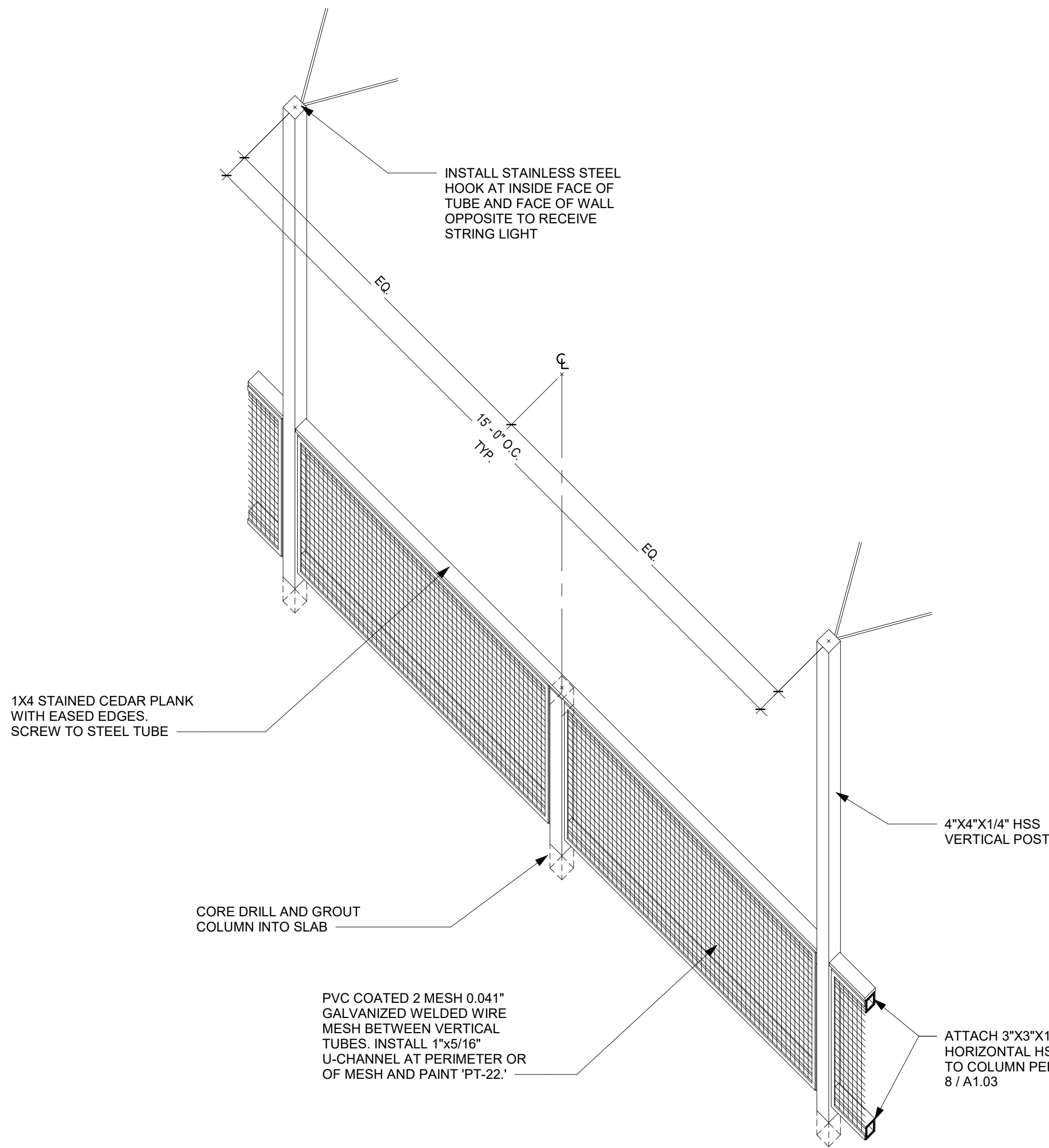
8 PATIO FENCE POST ATTACHMENT PLAN DETAIL
6" = 1'-0"



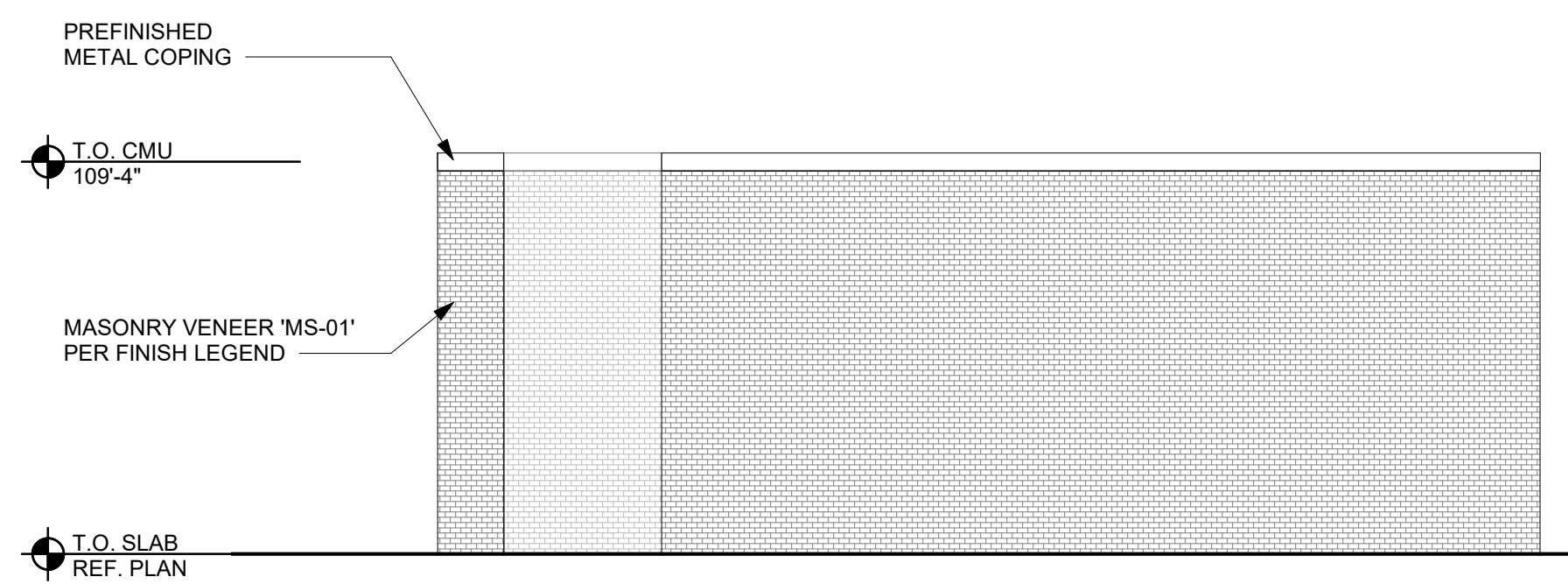
5 TYP. BOLLARD DETAIL
1/2" = 1'-0"



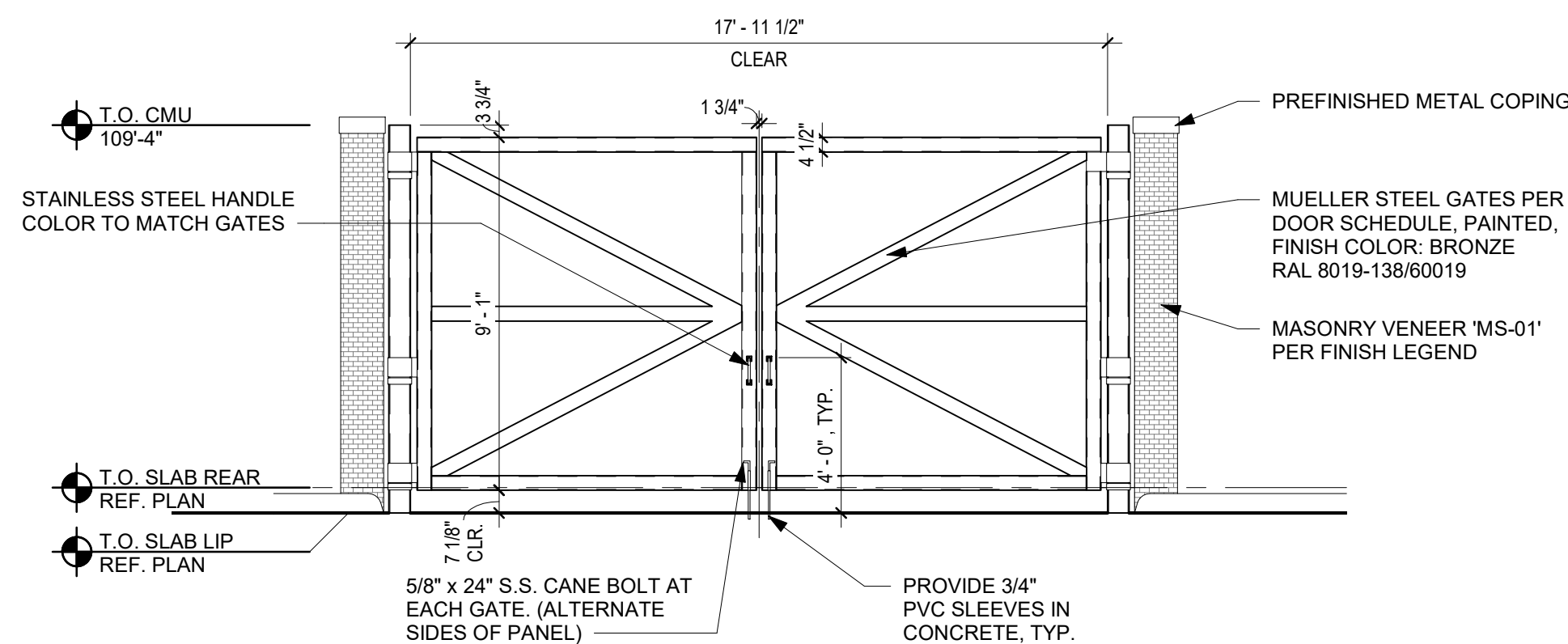
4 DUMPSTER & TRANSFORMER WALL SECTION
1/2" = 1'-0"



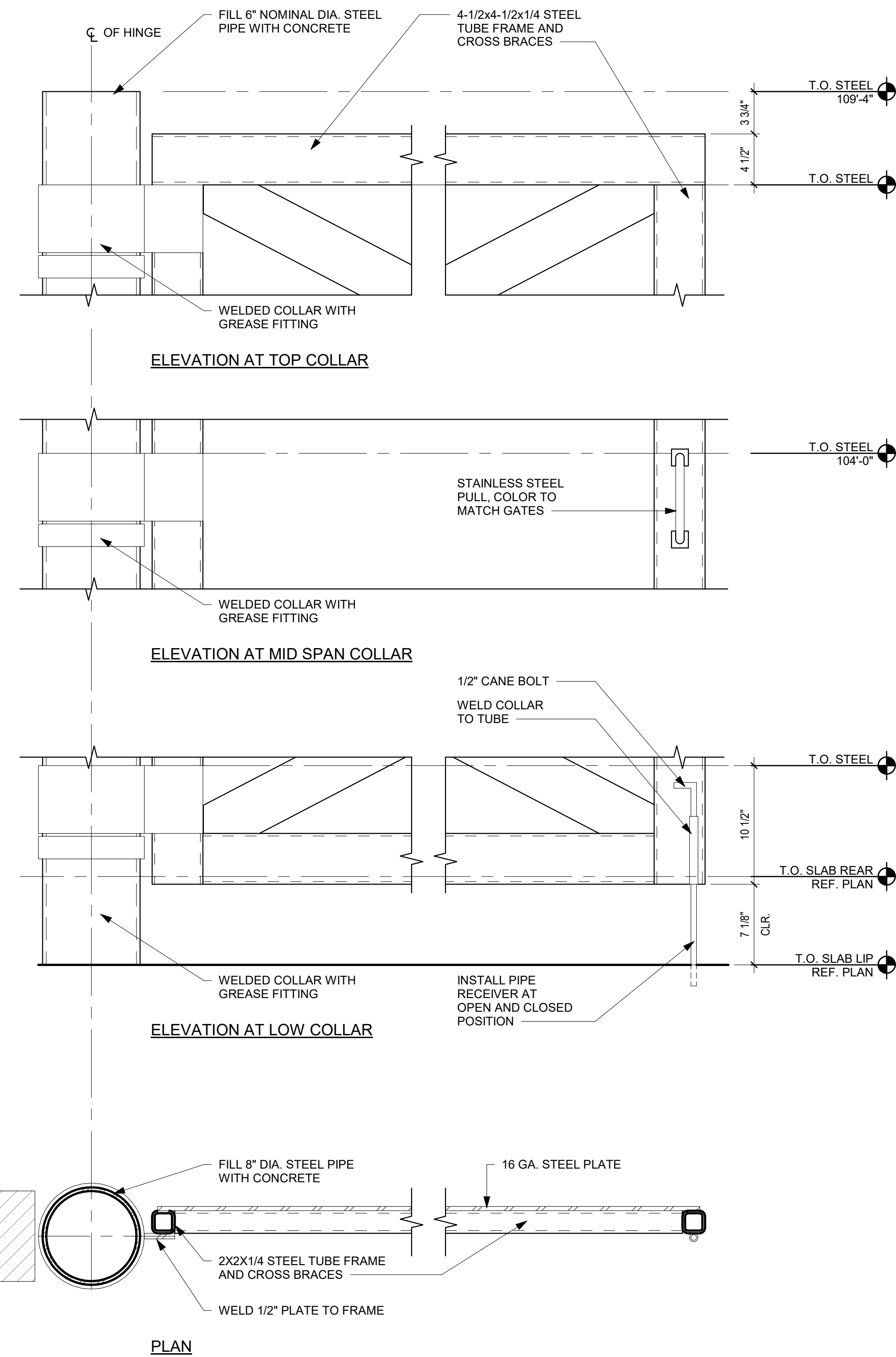
7 PATIO FENCE ISOMETRIC VIEW
1/2" = 1'-0"



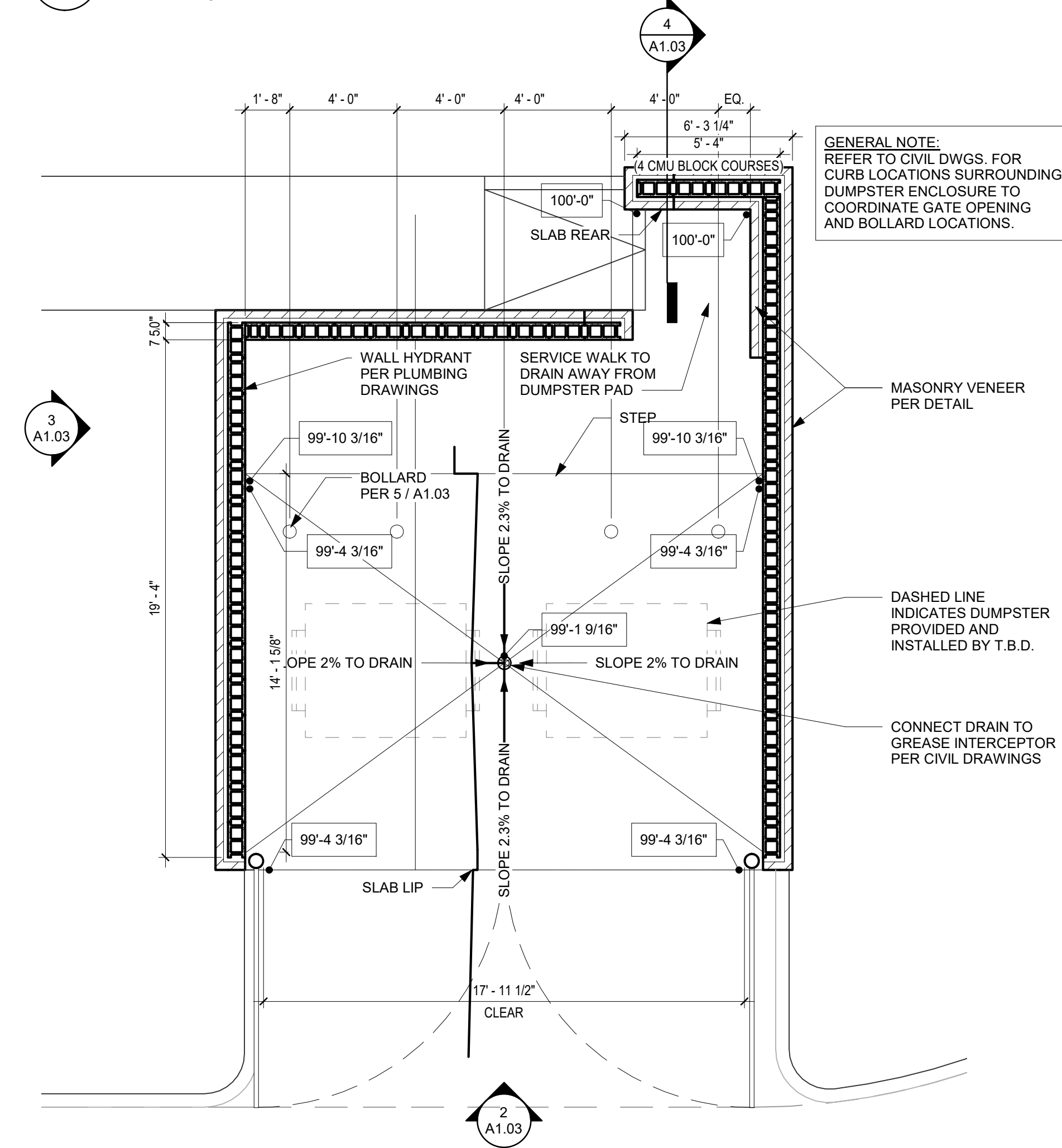
3 SIDE DUMPSTER ENCLOSURE ELEVATION
1/4" = 1'-0"



2 FRONT DUMPSTER ENCLOSURE ELEVATION
1/4" = 1'-0"



6 DUMPSTER ENCLOSURE GATE DETAIL
1 1/2" = 1'-0"



1 DUMPSTER ENCLOSURE PLAN
1/4" = 1'-0"

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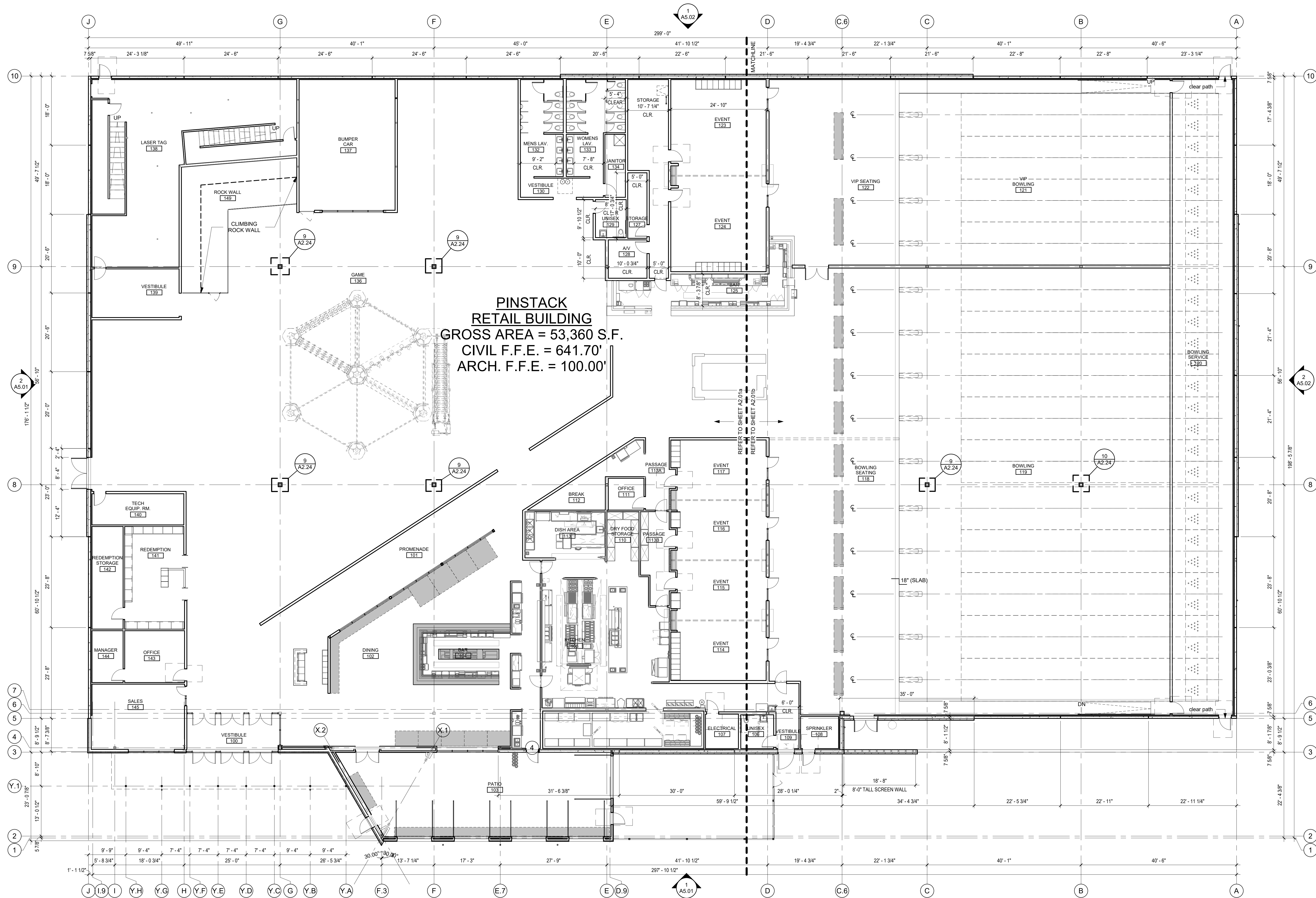
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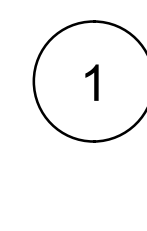
SHEET NO.

A1.03

SITE DETAILS



PINSTACK
RETAIL BUILDING
GROSS AREA = 53,360 S.F.
CIVIL F.F.E. = 641.70'
ARCH. F.F.E. = 100.00'



OVERALL FLOOR PLAN
3/32" = 1'-0"

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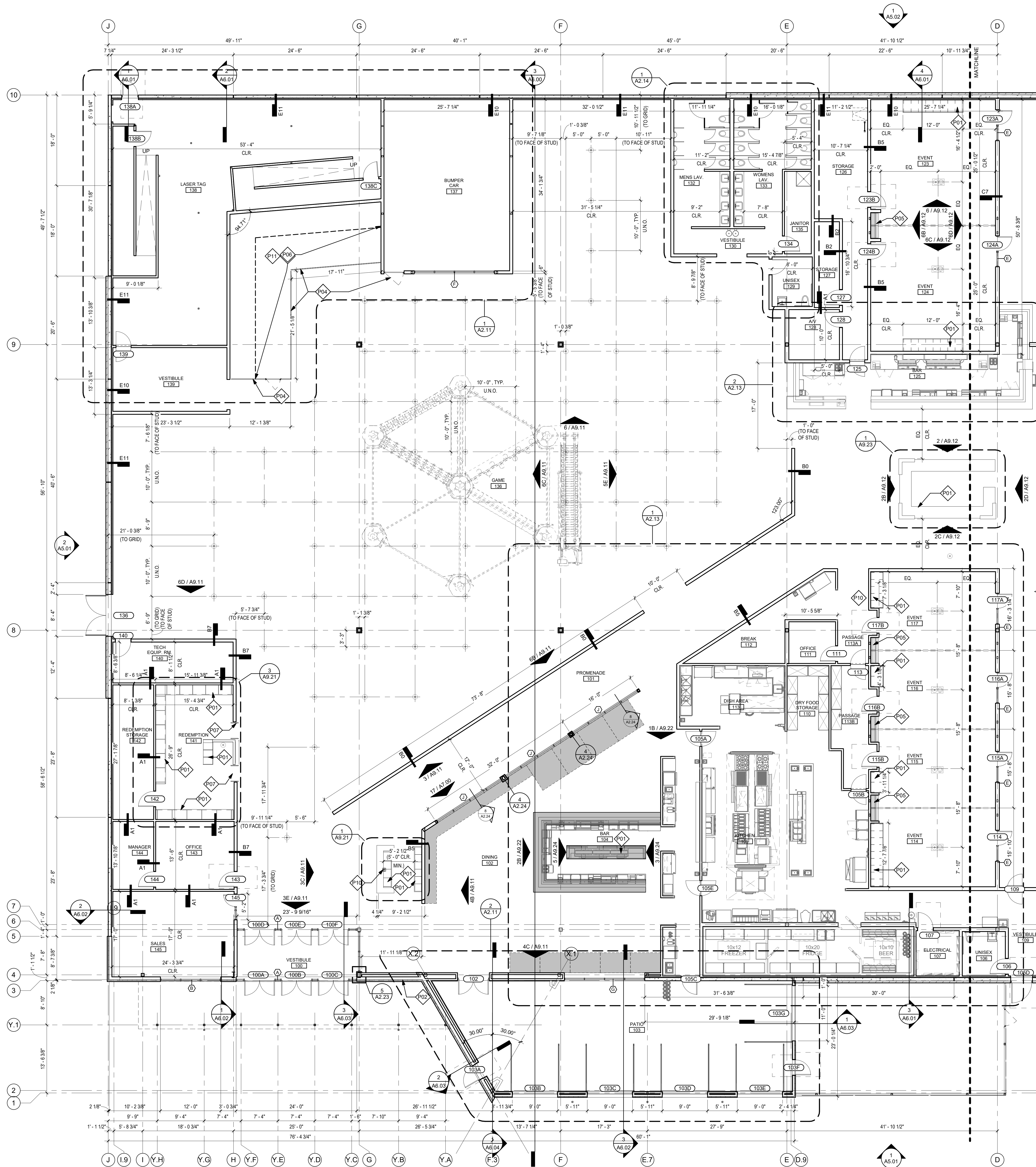
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A2.01

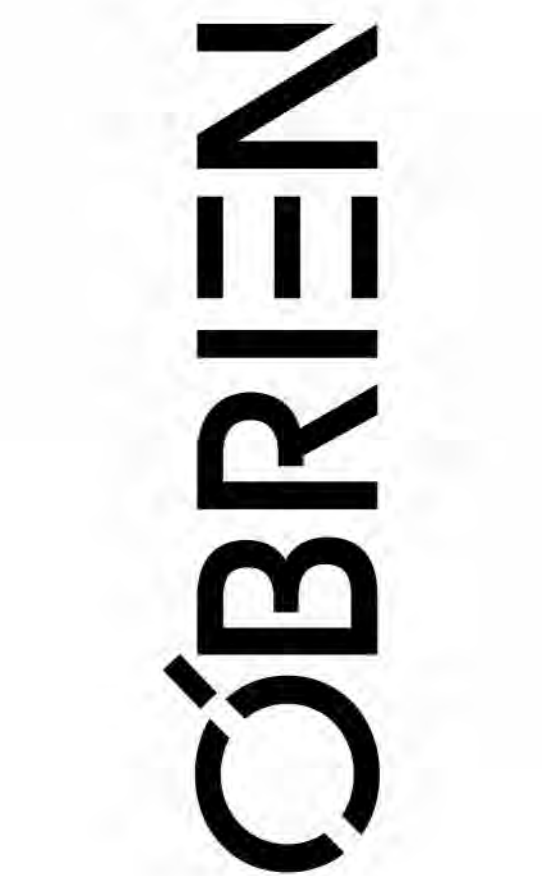
OVERALL FLOOR PLAN

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FLOOR PLAN KEYNOTES	
KEYNOTE	DESCRIPTION
P01	DASHED LINES INDICATES MILLWORK. CONTRACTOR TO PROVIDE BLOCKING AND ELECTRICAL AND PLUMBING CONNECTIONS AS REQUIRED.
P02	INSTALL KNOX BOX ON THIS WALL. COORDINATE EXACT LOCATION WITH LOCAL AUTHORITIES.
P04	CLIQUE RAILING PER 13 / A2.23
P05	OPERABLE PARTITION.
P06	DASHED LINE INDICATES CLIMBING WALL BY VENDOR. COORDINATE BLOCKING AND ELECTRICAL REQUIREMENTS WITH VENDOR. INSTALL 3/4" PLYWOOD IN LIEU OF GYPSUM BOARD ON FACE OF STUD TO RECEIVE CLIMBING WALL. ELECTRICAL ARTICLE SURVEILLANCE (EAS) GATE BY OWNER.
P07	J-BOX TO BE INSTALLED WITHIN MILLWORK.
P09	DASHED LINE INDICATES BOWLING EQUIPMENT PROVIDED AND INSTALLED BY VENDOR. CONTRACTOR TO PROVIDE FIRE BLOCKING AT THE EDGES OF AND BETWEEN LANES PER 15 / A2.00
P10	FLOOR BOX PER ELECTRICAL DRAWINGS.
P11	COORDINATE PLACEMENT OF SURFACE MOUNTED J-BOXES AT ROCK WALL WITH VENDOR.
P12	RAIL TYPE 'A', REF. DETAIL 10 / A2.23.

- ### FLOOR PLAN GENERAL NOTES
- FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DEVIATIONS.
 - DO NOT SCALE THE DRAWINGS.
 - ALL ELEVATIONS SHOWN ARE RELATIVE TO THE FINISH FLOOR ELEVATION OF 100'-0" INCLUDING AT AREAS WHERE THE FLOOR SLAB IS RECESSED 1'-6".
 - INTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO OUTSIDE FACE OF STUD OR CONCRETE TILT WALL.
 - INSTALL HINGE SIDE OF HOLLOW METAL DOOR FRAMES 4" FROM ADJACENT FACE OF GYPSUM BOARD, U.N.O.
 - FIRE PROTECTION DIAGRAMS GOVERN THE LOCATION OF RATED WALLS AND SPRAY APPLIED FIRE RESISTIVE MATERIAL. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF RATED WALLS AND APPLICATION OF FIRE SPRAY WITH THE FLOOR PLANS AND THE FIRE PROTECTION DIAGRAMS.
 - CONTRACTOR SHALL PROVIDE WOOD BLOCKING AS REQUIRED TO SUPPORT ALL ITEMS HANGING OR MOUNTED TO WALL SURFACES INCLUDING BUT NOT LIMITED TO HANDRAILS, TOILET, AND JANITORIAL ACCESSORIES, MILLWORK, TELEVISIONS AND SIGNAGE.
 - PROVIDE 24" X 24" ACCESS PANELS IN ALL PARTITIONS WHERE TRANSFORMERS, J-BOXES, PLUMBING VALVES, VARIABLE AIR BOXES, PTB BOXES, DAMPERS, SANITARY SEWER OR GREASE TRAPS REQUIRING ACCESS ARE LOCATED. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT QUANTITY AND LOCATION OF ACCESS PANELS. COORDINATE EXACT LOCATIONS WITH ARCHITECT TO MINIMIZE AESTHETIC IMPACT ON THE OVERALL DESIGN.
 - G.C. WILL PROVIDE AND INSTALL A PERMANENT SIGN FOR EACH ASSEMBLY SPACE THAT INDICATES THE OCCUPANT LOAD. THE TOTAL OCCUPANCY OF THE BUILDING WILL BE SHOWN ON THE LOBBY PLACARD. VENDOR AND CONTRACTOR TO COORDINATE EXACT PLACEMENT WITH LOCAL AUTHORITIES.
 - INSTALL CONTROL JOINTS AT INTERIOR NON-DEMISING WALLS PER 3 / A2.22.
 - INSTALL SEALANT AT ALL PANEL JOINTS PER 13 / A2.21.
 - FLOOR RECEPTACLES IN GAME ROOM 136 ARE TYPICALLY SPACED 10'-0" APART, U.N.O.



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SHEET NO.
A2.01a
FLOOR PLAN AREA 'A'

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REVISION LOG

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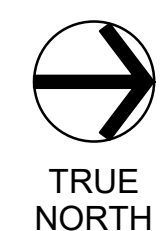
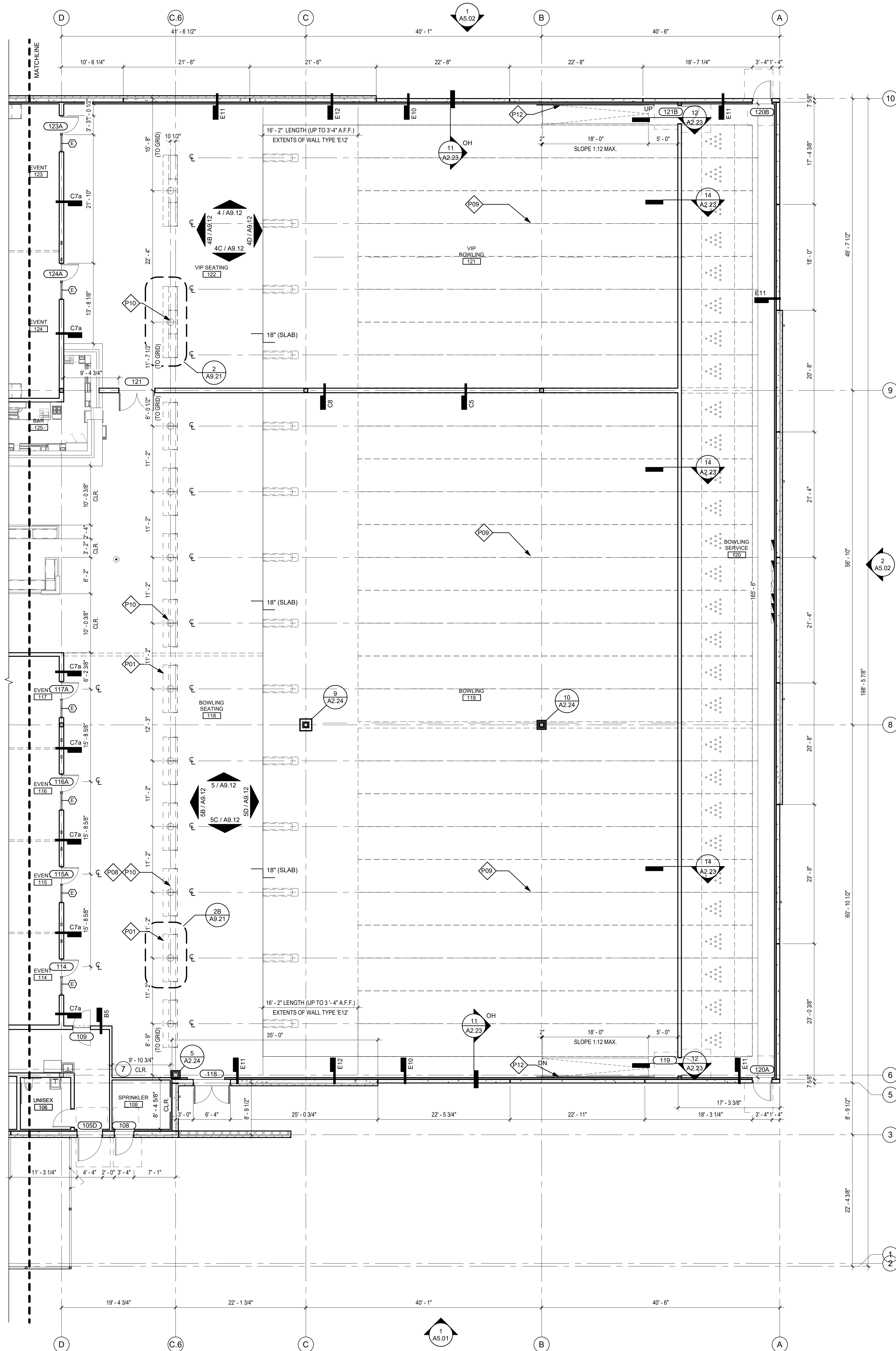
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FLOOR PLAN KEYNOTES	
KEYNOTE	DESCRIPTION
P01	DASHED LINES INDICATES MILL/WORK. CONTRACTOR TO PROVIDE BLOCKING AND ELECTRICAL AND PLUMBING CONNECTIONS AS REQUIRED.
P02	INSTALL KNOX BOX ON THIS WALL. COORDINATE EXACT LOCATION WITH LOCAL AUTHORITIES.
P04	QUEUE RAILING PER 13 / A2.23
P05	OPERABLE PARTITION.
P06	DASHED LINE INDICATES CLIMBING WALL BY VENDOR. COORDINATE BLOCKING AND ELECTRICAL REQUIREMENTS WITH VENDOR. INSTALL 3/4" PLYWOOD IN LIEU OF GYPSUM BOARD ON FACE OF STUD TO RECEIVE CLIMBING WALL.
P07	ELECTRICAL ARTICLE SURVEILLANCE (EAS) GATE BY OWNER.
P08	J-BOX TO BE INSTALLED WITHIN MILL/WORK
P09	DASHED LINE INDICATES BOWLING EQUIPMENT PROVIDED AND INSTALLED BY VENDOR. CONTRACTOR TO PROVIDE FIRE FLOORING AT THE EDGES OF AND BETWEEN LANES PER 15/ A23.00
P10	FLOOR BOX PER ARCHITECT DRAWINGS.
P11	COORDINATE PLACEMENT OF SURFACE MOUNTED J-BOXES AT ROCK WALL WITH VENDOR.
P12	RAIL TYPE 'A'. REF. DETAIL 10 / A2.23

FLOOR PLAN GENERAL NOTES

1. FIELD VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT OF ANY DEVIATIONS.
2. DO NOT SCALE THE DRAWINGS.
3. ALL ELEVATIONS SHOWN ARE RELATIVE TO THE FINISH FLOOR ELEVATION OF 100'-0" INCLUDING AT AREAS WHERE THE FLOOR SLAB IS RECESSED 1'-6".
4. INTERIOR DIMENSIONS ARE FROM OUTSIDE FACE OF STUD TO OUTSIDE FACE OF STUD OR CONCRETE TILT WALL.
5. INSTALL HINGE SIDE OF HOLLOW METAL DOOR FRAMES 4" FROM ADJACENT FACE OF GYPSUM BOARD, U.N.O.
6. FIRE PROTECTION DIAGRAMS GOVERN THE LOCATION OF RATED WALLS AND SPRAY APPLIED FIRE RESISTIVE MATERIAL. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION OF RATED WALLS AND APPLICATION OF FIRE SPRAY WITH THE FLOOR PLANS AND THE FIRE PROTECTION DIAGRAMS.
7. CONTRACTOR SHALL PROVIDE WOOD BLOCKING AS REQUIRED TO SUPPORT ALL ITEMS HANGING OR BOLTED TO WALL SURFACES INCLUDING BUT NOT LIMITED TO HANDRAILS, TOILET, AND JANITORIAL ACCESSORIES, MILLWORK, TELEVISIONS AND SIGNAGE.
8. PROVIDE 24" X 24" ACCESS PANELS IN ALL PARTITIONS WHERE TRANSFORMERS, J-BOXES, PLUMBING VALVES, VARIABLE AIR BOXES, PTB BOXES, DAMPERS, SANITARY SEWER OR GREESE TRAPS REQUIRING ACCESS ARE LOCATED. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT QUANTITY AND LOCATION OF ACCESS PANELS. COORDINATE EXACT LOCATIONS WITH ARCHITECT TO MINIMIZE AESTHETIC IMPACT ON THE OVERALL DESIGN.
9. G.C. WILL PROVIDE AND INSTALL A PERMANENT SIGN FOR EACH ASSEMBLY SPACE THAT INDICATES THE OCCUPANT LOAD. THE TOTAL OCCUPANCY OF THE BUILDING WILL BE SHOWN ON THE LOBBY PLACARD. VENDOR AND CONTRACTOR TO COORDINATE EXACT PLACEMENT WITH LOCAL AUTHORITIES.
10. INSTALL CONTROL JOINTS AT INTERIOR NON-DEMISING WALLS PER 3 / A2.22.
11. INSTALL SEALANT AT ALL PANEL JOINTS PER 13 / A2.21.
12. FLOOR RECEPTACLES IN GAME ROOM 136 ARE TYPICALLY SPACED 10'-0" APART, U.N.O.



1 FLOOR PLAN AREA 'B'
1/8" = 1'-0"

PINSTACK -
WESTLAKE

3650 PARISH LN.
WESTLAKE,
TEXAS 76262

OWNER
ENTERTAINMENT
PROPERTIES
GROUP, INC.

ARCHITECT
O'BRIEN
ARCHITECTS

**STRUCTURAL
ENGINEER**
HART GAUGLER
+ ASSOCIATES

MEP ENGINEER
C3 CONSULTING
ENGINEERS

CIVIL
KIMLEY-HORN AND
ASSOCIATES, INC.

REVISION LOG

[illegible]

PROJECT NO. 23-077

ISSUE DATE: 12-29-2023

ISSUE NAME:
DRC MEMO RESPONSE

NOT FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION

SHEET NO.

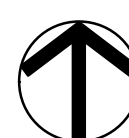
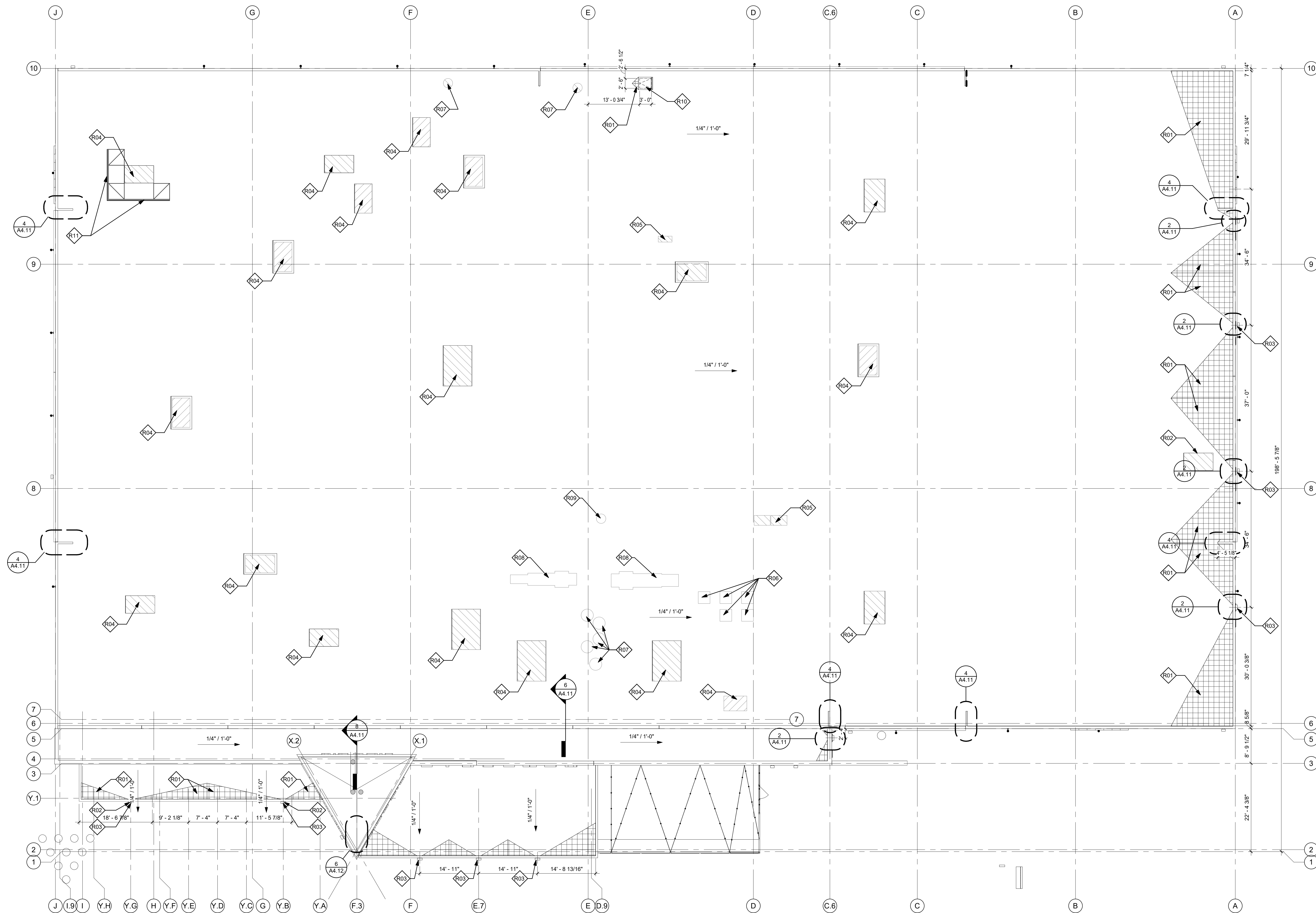
A4.01

ROOF PLAN

ROOF KEYNOTES	
KEYNOTE	DESCRIPTION
R01	SLOPE CRACK 1/4" PER FOOT MIN.
R02	ALONG 3" DRIVEN WITH COLUMN BELOW.
R03	2" PREFINISHED METAL GUTTER AND DOWNSPOUT
R04	ROOFTOP UNIT, REF. MECH.
R05	CONDENSING UNIT, REF. MECH.
R06	REFRIGERATION CONDENSING UNIT, REF. MECH.
R07	ROOF MOUNTED EXHAUST FAN, REF. MECH.
R08	KITCHEN MAKEUP AIR UNIT, REF. MECH.
R09	KITCHEN HOOD EXHAUST FAN, REF. MECH.
R10	ROOF HATCH, REF. DTL. 10.04-11
R11	PRE-MANUFACTURED EQUIPMENT SCREENING SYSTEM AS REQUIRED PER THE LINE OF SIGHT STUDY. REFER TO ROOF PLAN GENERAL NOTE #7.

ROOF PLAN GENERAL NOTES

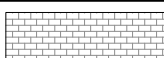
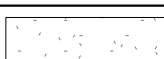
1. INSTALL MANUFACTURER'S STANDARD WALK PADS AT PERIMETER OF ALL ROOF TOP UNITS AND PROVIDE WALK PADS TO CONNECT ALL UNITS TO ROOF HATCH.
2. INSTALL CRICKET AT UPSIDE OF ALL MECHANICAL CURBS TO PROVIDE POSITIVE DRAINAGE AROUND CURBS. CRICKET TO SLOPE 1/4" PER FOOT MINIMUM.
3. CLEAN AND PAINT GAS LINE ON ROOF SW6911 CONFIDENT YELLOW.
4. CONTRACTORS SHALL LABEL ALL ROOF TOP EQUIPMENT PER MECHANICAL DRAWINGS.
5. INSTALL TYPICAL ROOF PENETRATIONS PER 8/ A4. 11.
6. PROVIDE ROOF CURBS FOR RUTS PER 12/ A4. 11.
7. THE ROOF SCREENING SHOWN IS BASED ON THE POSSIBLE EXPOSURE OF ROOFTOP EQUIPMENT FROM PUBLIC VIEW PER THE LINE OF SIGHT STUDY. ADDITIONAL SCREENING MAY BE REQUIRED IF AND ONLY IF MORE EQUIPMENT IS DISCOVERED TO NEED CONCEALMENT DURING THE CONSTRUCTION PHASE.



PLAN
NORTH

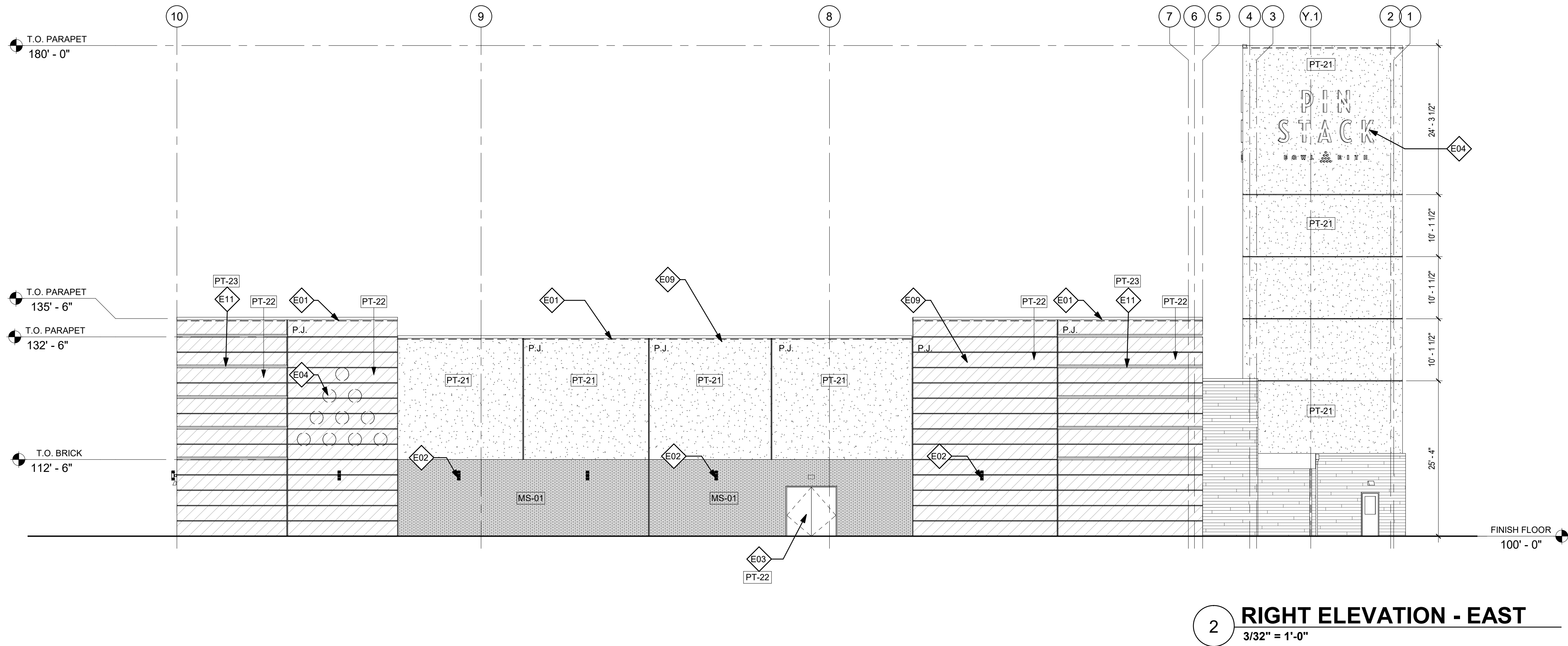
1 **ROOF PLAN**
3/32" = 1'-0"

$$3/32'' = 1'-0''$$

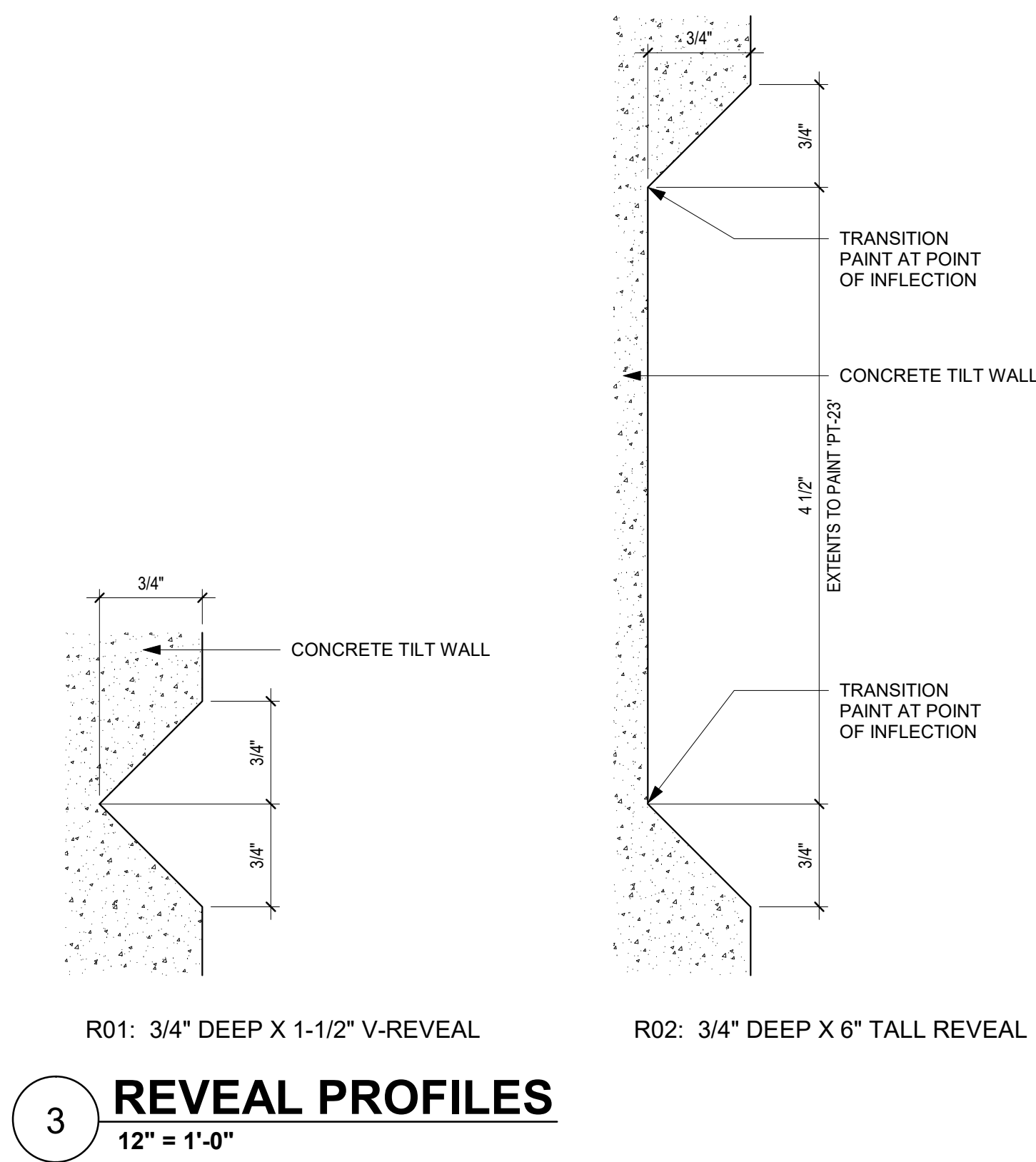
EXTERIOR FINISH LEGEND							
MARK	DESCRIPTION	MANUFACTURER	SERIES	COLOR	FINISH	SIZE	COMMENTS
ALUMINUM SIDING							
AL-01		ALUMINUM SIDING	LONGBOARD	T&G PLANK CLADDING	DARK KNOTTY PINE	WOODGRAIN	6" V-GROOVE PROFILE
MASONRY							
MS-01		MODULAR BRICK VENEER MASONRY	ACME	WESTCHESTER	DTP158	VELOUR	MODULAR
PAINT							
PT-21		EXTERIOR PAINT	SHERWIN WILLIAMS	SW 7035	AESTHETIC WHITE	SATIN	-
PT-22		EXTERIOR PAINT	SHERWIN WILLIAMS	SW 7020	BLACK FOX	SATIN	-
PT-23		EXTERIOR PAINT	SHERWIN WILLIAMS	SW 6868	REAL RED	SEMI-GLOSS	-

ELEVATION KEYNOTES	
KEYNOTE	DESCRIPTION
E01	DASHED LINE INDICATES STRIP LED LIGHTING PER ELECTRICAL DRAWINGS.
E02	SCONCE PER ELECTRICAL DRAWINGS.
E03	PAINT FACES OF DOOR AND FRAME TO MATCH ADJACENT WALL COLOR.
E04	INTERNALLY ILLUMINATED SIGNAGE BY OWNER'S VENDOR. CONTRACTOR TO PROVIDE POWER AND BLOCKING.
E05	OPERABLE OVERHEAD DOOR. COLOR: DARK BRONZE
E06	PRE-FINISHED METAL SCUPPER AND DOWNSPOUT TO MATCH COPING.
E07	6" TONGUE & GROOVE PLANK ALUMINUM SIDING. RE: 'EXTERIOR FINISH LEGEND' FOR MFR., COLOR, & FINISH.
E08	STOREFRONT GLAZING. COLOR: DARK BRONZE ANODIZED.
E09	TEXTURED PAINTED TILT WALL PANEL. RE: FINISH LEGEND FOR PAINT COLOR.
E10	RUNNING BOND MODULAR BRICK. RE: FINISH LEGEND FOR MANF. & COLOR.
E11	REVEAL 'R02' PROFILE. REF. DTL. 3 / A5.01

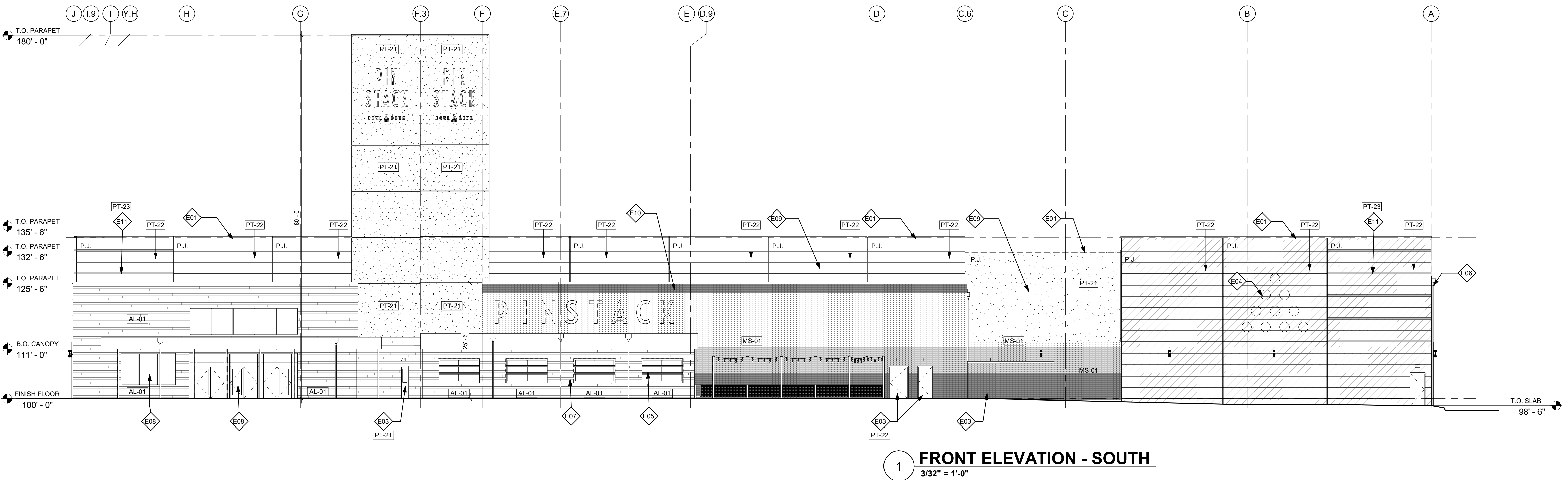
ELEVATION GENERAL NOTES	
1.	INSTALL INTEGRALLY COLORED EXTERIOR CAULK AT ALL CONTROL JOINTS AFTER BUILDING HAS BEEN PAINTED.
2.	CAULK SHALL CHANGE COLORS AS REQUIRED TO MATCH ADJACENT MATERIAL FIELD COLOR. COORDINATE EXACT COLORS WITH ARCHITECT. DO NOT PAINT CAULK.
3.	SEAL ALL EXTERIOR PENETRATIONS.
4.	SEAL ALL EXTERIOR CONTROL JOINTS AND JOINTS IN DISSIMILAR WALL ASSEMBLIES.
5.	SEAL TOP OF ALL EXTERIOR LIGHT FIXTURES WITH SEALANT TO MATCH FIXTURE.
6.	LINES SHOWN ON ELEVATIONS INDICATE REVEAL PER DETAIL 3 / A5.01.
7.	ALL EXTERIOR SIGNAGE IS SUBJECT TO APPROVAL BY LOCAL AUTHORITIES.
8.	ALL FINISHES EXTEND BEHIND SIGNAGE.
9.	"P.J." INDICATES LOCATION OF VERTICAL CONCRETE TILT PANEL JOINT, REFER TO STRUCTURAL DRAWINGS.
10.	"C.J." INDICATES LOCATION OF CONTROL JOINTS IN BRICK AND STUCCO.
11.	ALL LINES SHOWN ON TILT PANELS ARE REVEAL 'R01' PER DTL. 3 / A5.01 UNLESS NOTED OTHERWISE.
12.	G.C. TO PROVIDE WHITE ADDRESS SIGNAGE FOR INSTALLATION BY CONTRACTOR. CONFIRM EXACT LOCATION OF ADDRESS SIGNAGE WITH FIRE DEPARTMENT.



2 RIGHT ELEVATION - EAST
3/32" = 1'-0"



3 REVEAL PROFILES
12" = 1'-0"



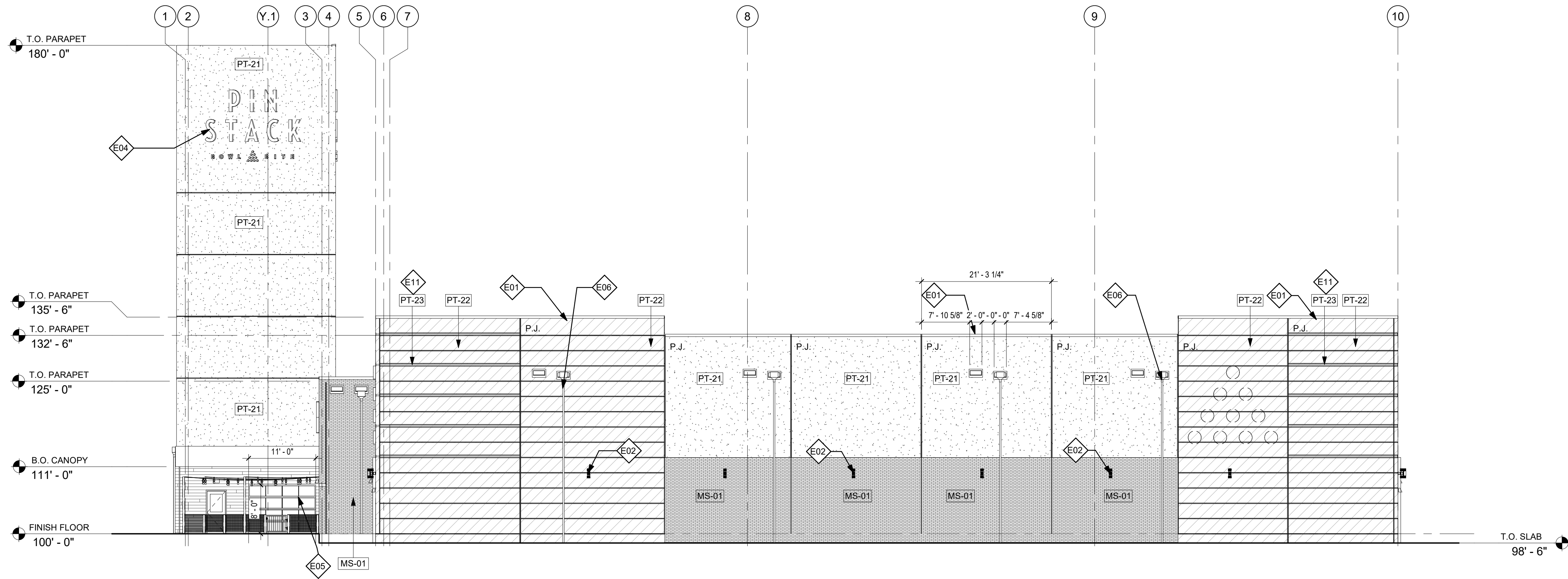
1 FRONT ELEVATION - SOUTH
3/32" = 1'-0"

REVISION LOG

DATE	DESCRIPTION	DELTA

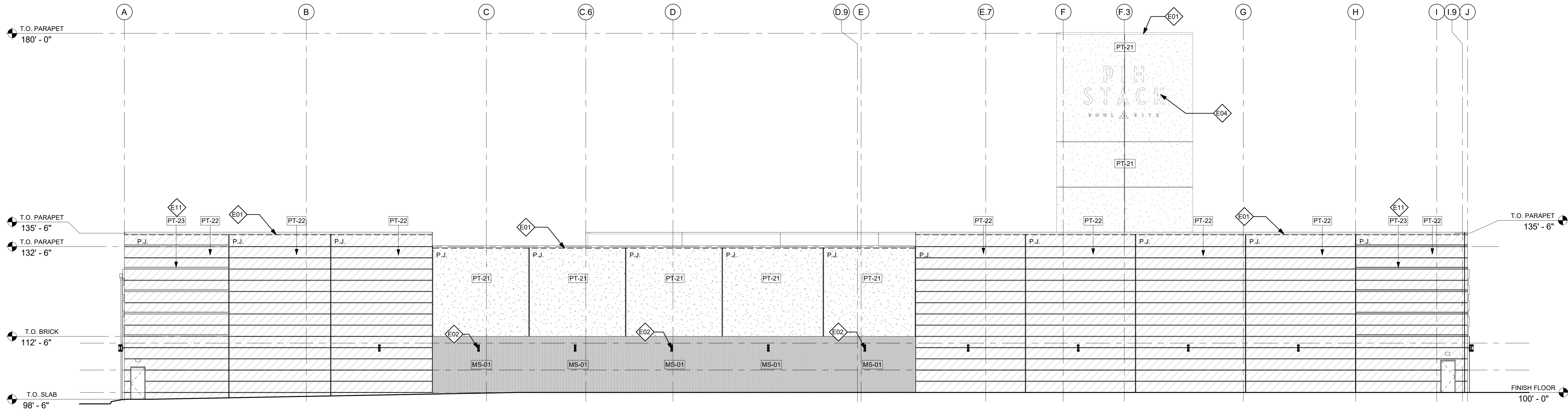
PROJECT NO. 23-077
ISSUE DATE: 12-29-2023
ISSUE NAME:
DRC MEMO RESPONSE

NOT FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION



2 LEFT ELEVATION - WEST
3/32" = 1'-0"

TOWER GENERAL NOTE:
THE TOWER ROOF IS TO HAVE INTERNAL PRIMARY AND SECONDARY OVERFLOW DRAINS. THEREFORE, NO DOWNSPOUT OR SCUPPERS ARE TO BE VISIBLE ON ANY TOWER EXTERIOR WALL. INSTEAD, INTERNAL DRAIN WILL LEAD OUT TO DAYLIGHT ONTO LOWER ROOF SECTION AT AN ELEVATION NOT VISIBLE TO THE PUBLIC. REFER TO DETAIL 1 / A4.11.



1 REAR ELEVATION - NORTH
3/32" = 1'-0"

EXTERIOR FINISH LEGEND							
MARK	DESCRIPTION	MANUFACTURER	SERIES	COLOR	FINISH	SIZE	COMMENTS
ALUMINUM SIDING							
AL-01	ALUMINUM SIDING	LONGBOARD	T&G PLANK CLADDING	DARK KNOTTY PINE	WOODGRAIN	6" V-GROOVE PROFILE	-
MASONRY							
MS-01	MODULAR BRICK VENEER MASONRY	ACME	WESTCHESTER	DTP158	VELOUR	MODULAR	DARK BROWN MORTAR, PROVIDE ANTI-EFFLORESCENCE ADDITIVE IN MORTAR MIX.
PAINT							
PT-21	EXTERIOR PAINT	SHERWIN WILLIAMS	SW 7035	AESTHETIC WHITE	SATIN	-	MEDIUM TEXTURE
PT-22	EXTERIOR PAINT	SHERWIN WILLIAMS	SW 7020	BLACK FOX	SATIN	-	MEDIUM TEXTURE
PT-23	EXTERIOR PAINT	SHERWIN WILLIAMS	SW 6868	REAL RED	SEMI-GLOSS	-	-

ELEVATION KEYNOTES	
KEYNOTE	DESCRIPTION
E01	DASHED LINE INDICATES STRIP LED LIGHTING PER ELECTRICAL DRAWINGS.
E02	SCONCE PER ELECTRICAL DRAWINGS.
E03	PAINT FACES OF DOOR AND FRAME TO MATCH ADJACENT WALL COLOR.
E04	INTERNALLY ILLUMINATED SIGNAGE BY OWNER'S VENDOR. CONTRACTOR TO PROVIDE POWER AND BLOCKING.
E05	OPERABLE OVERHEAD DOOR. COLOR: DARK BRONZE
E06	PRE-FINISHED METAL SCUPPER AND DOWNSPOUT TO MATCH COPING.
E07	6" TONGUE & GROOVE PLANK ALUMINUM SIDING, RE: EXTERIOR FINISH LEGEND FOR MFR., COLOR, & FINISH.
E08	STOREFRONT GLAZING. COLOR: DARK BRONZE ANODIZED.
E09	TEXTURED PAINTED TILT WALL PANEL, RE: FINISH LEGEND FOR PAINT COLOR.
E10	RUNNING BOND MODULAR BRICK, RE: FINISH LEGEND FOR MANF. & COLOR.
E11	REVEAL 'R02' PROFILE, REF. DTL. 3 / A5.01

ELEVATION GENERAL NOTES	
1.	INSTALL INTEGRALLY COLORED EXTERIOR CAULK AT ALL CONTROL JOINTS AFTER BUILDING HAS BEEN PAINTED.
2.	CAULK SHALL CHANGE COLORS AS REQUIRED TO MATCH ADJACENT MATERIAL FIELD COLOR. COORDINATE EXACT COLORS WITH ARCHITECT. DO NOT PAINT CAULK.
3.	SEAL ALL EXTERIOR PENETRATIONS.
4.	SEAL ALL EXTERIOR CONTROL JOINTS AND JOINTS IN DISSIMILAR WALL ASSEMBLIES.
5.	SEAL TOP OF ALL EXTERIOR LIGHT FIXTURES WITH SEALANT TO MATCH FIXTURE.
6.	LINES SHOWN ON ELEVATIONS INDICATE REVEAL PER DETAIL 3 / A5.01.
7.	ALL EXTERIOR SIGNAGE IS SUBJECT TO APPROVAL BY LOCAL AUTHORITIES.
8.	ALL FINISHES EXTEND BEHIND SIGNAGE.
9.	"P.J." INDICATES LOCATION OF VERTICAL CONCRETE TILT PANEL JOINT, REFER TO STRUCTURAL DRAWINGS.
10.	"C.J." INDICATES LOCATION OF CONTROL JOINTS IN BRICK AND STUCCO.
11.	ALL LINES SHOWN ON TILT PANELS ARE REVEAL 'R01' PER DTL. 3 / A5.01 UNLESS NOTED OTHERWISE.
12.	G.C. TO PROVIDE WHITE ADDRESS SIGNAGE FOR INSTALLATION BY CONTRACTOR. CONFIRM EXACT LOCATION OF ADDRESS SIGNAGE WITH FIRE DEPARTMENT.

REVISION LOG		
DATE	DESCRIPTION	DELTA

PROJECT NO. 23-077
ISSUE DATE: 12-29-2023
ISSUE NAME:
DRC MEMO RESPONSE

NOT FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION



1 Material: Brick
Mfr: ACME
Size: Standard/
Modular
Color: Westchester
Texture: Velour



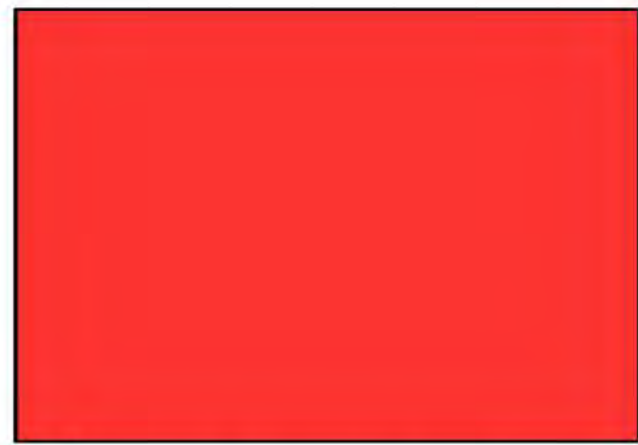
2 Material: Nichiha
Mfr: Nichiha
Series: AWP3030
Size: 6"
Color: Cedar



3 Internally Illuminated
Signage



4 Surface Mount LED
Accent Lights



5 Paint: SW 6868
Real Red
High Gloss Finish



6 Paint: SW 6141
Aesthetic White
With Ultracrete Medium
Textured Coating



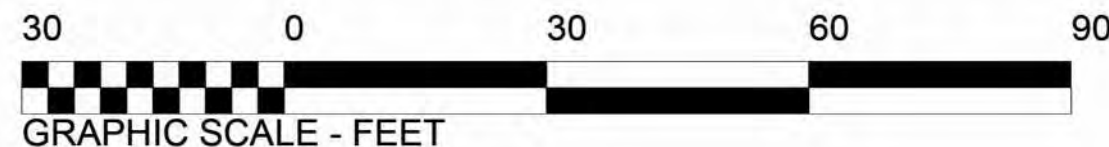
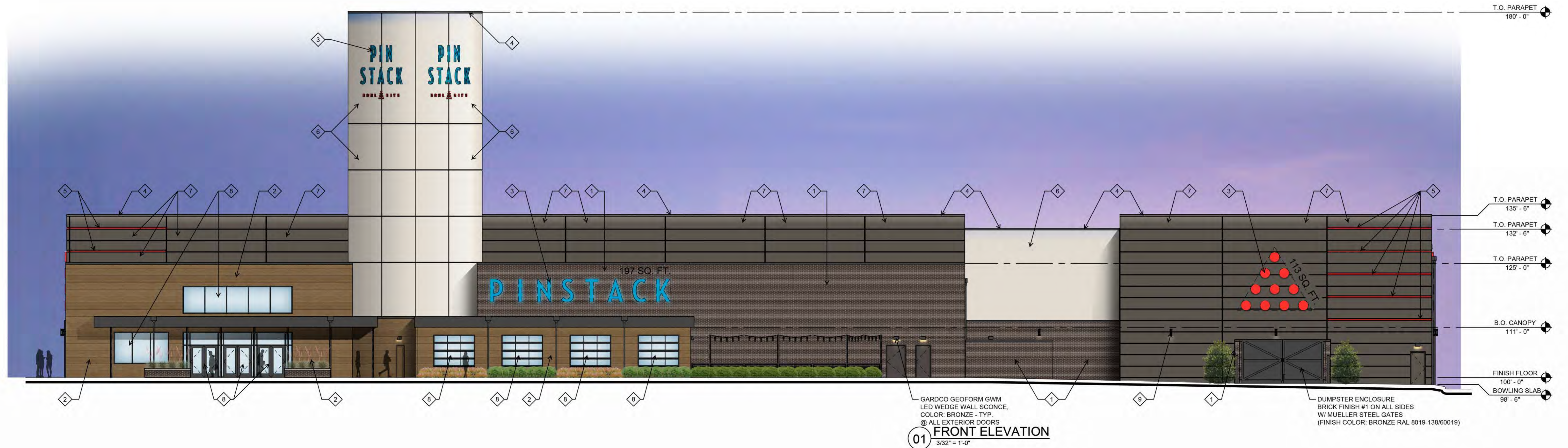
7 Paint SW 7020
Black Fox
With Ultracrete Medium
Textured Coating



8 Material: Storefront
Mfr: Kawneer
Size: Standard
Color: Dark Bronze No. 40



9 Wall Sconce as permitted
per the DRB
Mfr: SpecLight
Model: 6" Round Direct
Gamma Series
CW0618PC
CCT: 4000K
Size: 6" x 18"
Color: Bronze





1 Material: Brick
Mfr: ACME
Size: Standard/
Modular
Color: Westchester
Texture: Velour



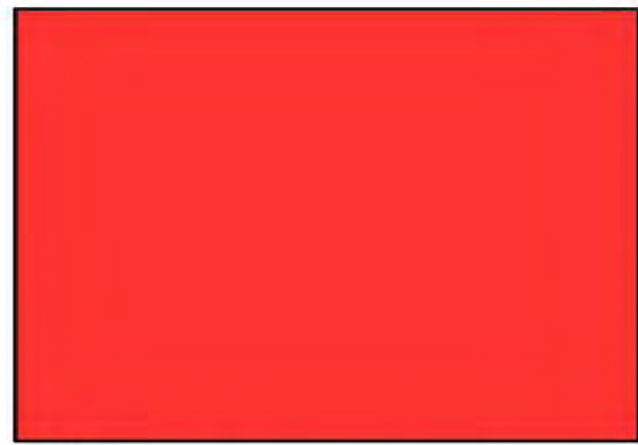
2 Material: Nichiha
Mfr: Nichiha
Series: AWP3030
Size: 6"
Color: Cedar



3 Internally Illuminated
Signage



4 Surface Mount LED
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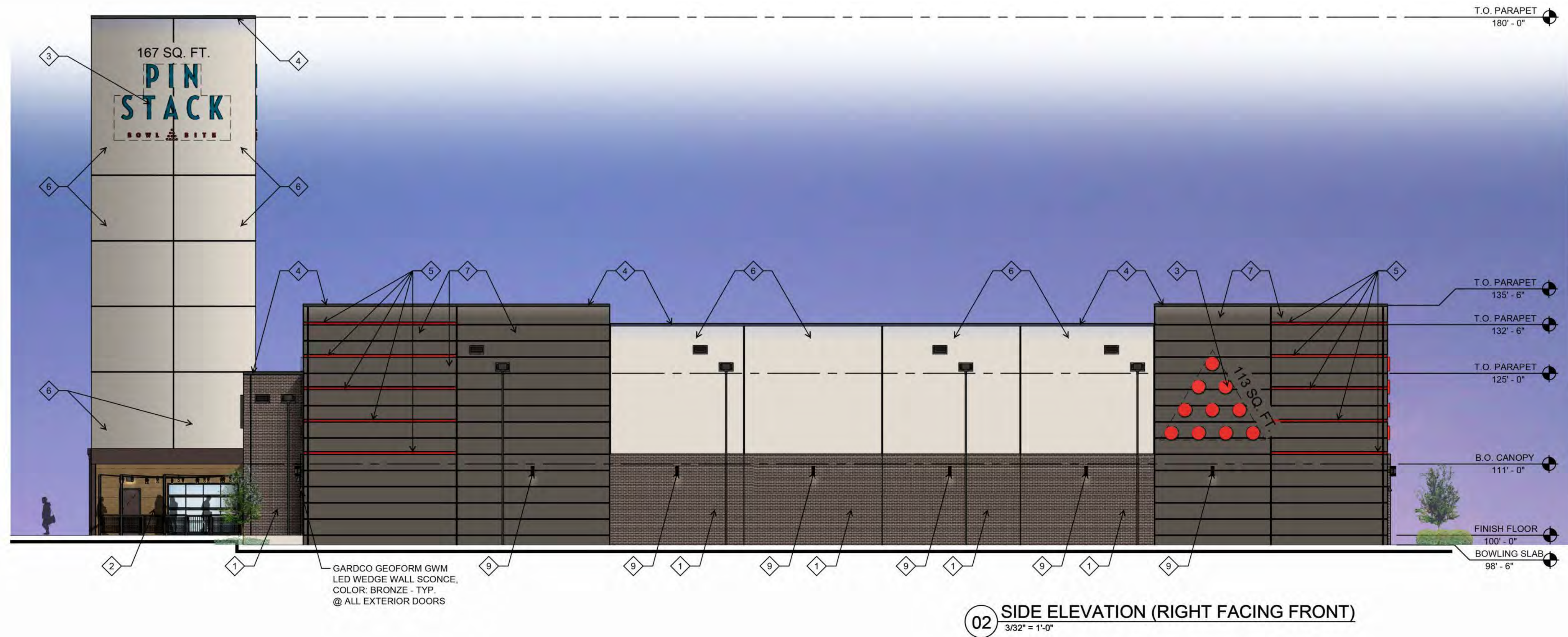
7 Paint SW 7020
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With Ultracrete Medium
Textured Coating



8 Material: Storefront
Mfr: Kawneer
Size: Standard
Color: Dark Bronze No. 40



9 Wall Sconce as permitted
per the DRB
Mfr: SpecLight
Model: 6" Round Direct
Gamma Series
CW0618PC
CCT: 4000K
Size: 6" x 18"
Color: Bronze



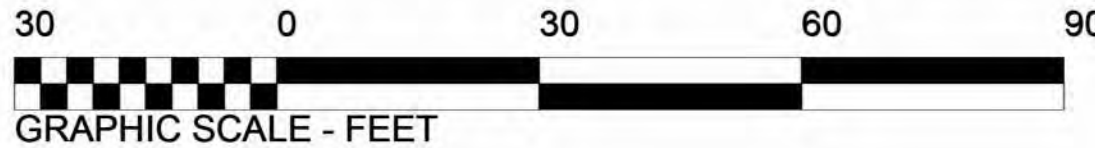
Pinstack

Westlake, Texas

Entertainment Properties Group

EL-02 Elevations

Date: 12.29.2023 Scale As Noted



O'BRIEN

1722 ROUTH ST., SUITE 122
DALLAS, TEXAS 75201
972-788-1010 FAX 972-788-1024



1 Material: Brick
Mfr: ACME
Size: Standard/
Modular
Color: Westchester
Texture: Velour



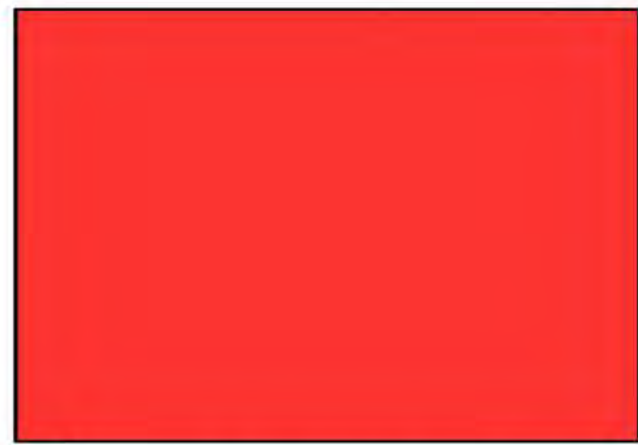
2 Material: Nichiha
Mfr: Nichiha
Series: AWP3030
Size: 6"
Color: Cedar



3 Internally Illuminated
Signage



4 Surface Mount LED
Accent Lights



5 Paint: SW 6868
Real Red
High Gloss Finish



6 Paint: SW 6141
Aesthetic White
With Ultracrete Medium
Textured Coating



7 Paint SW 7020
Black Fox
With Ultracrete Medium
Textured Coating



8 Material: Storefront
Mfr: Kawneer
Size: Standard
Color: Dark Bronze No. 40



9 Wall Sconce as permitted
per the DRB
Mfr: SpecLight
Model: 6" Round Direct
Gamma Series
CW0618PC
CCT: 4000K
Size: 6" x 18"
Color: Bronze





1 Material: Brick
Mfr: ACME
Size: Standard/
Modular
Color: Westchester
Texture: Velour



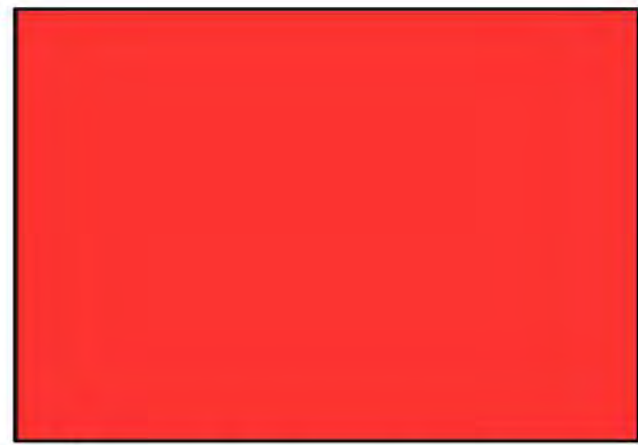
2 Material: Nichiha
Mfr: Nichiha
Series: AWP3030
Size: 6"
Color: Cedar



3 Internally Illuminated
Signage



4 Surface Mount LED
Accent Lights



5 Paint: SW 6868
Real Red
High Gloss Finish



6 Paint: SW 6141
Aesthetic White
With Ultracrete Medium
Textured Coating



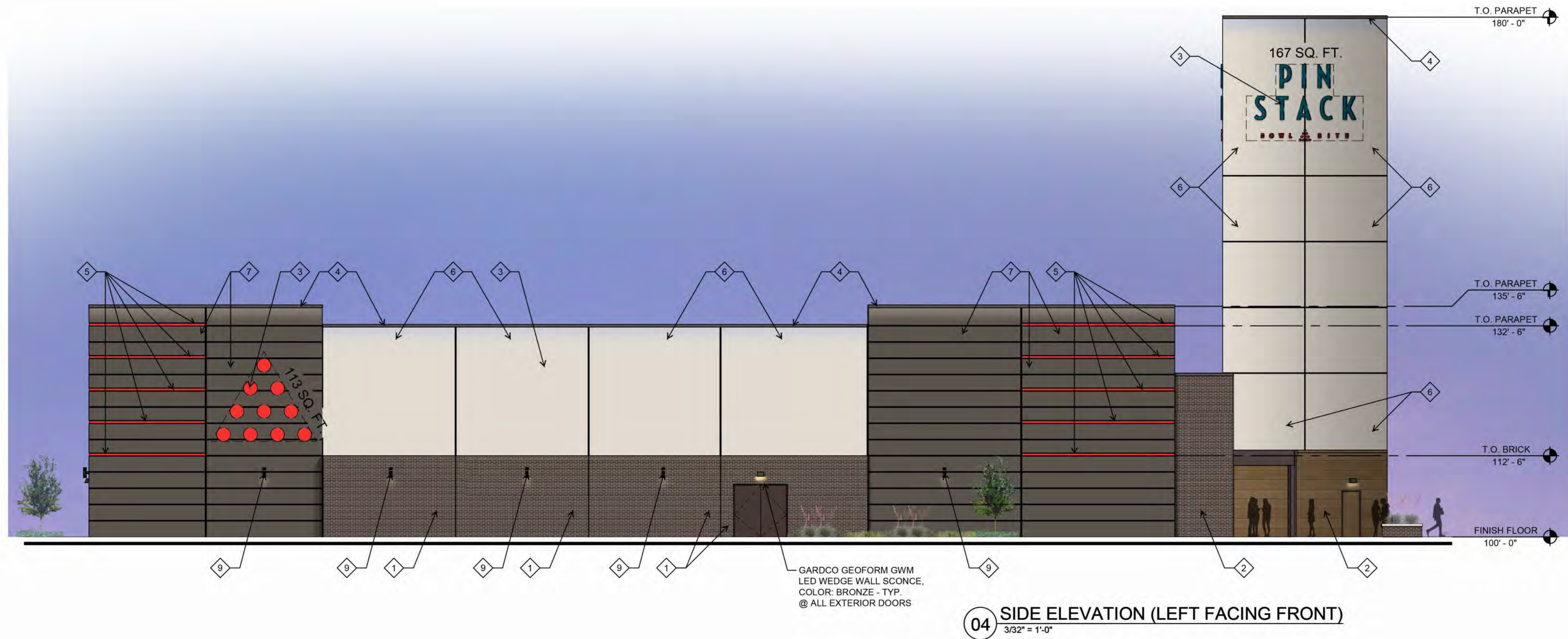
7 Paint SW 7020
Black Fox
With Ultracrete Medium
Textured Coating



8 Material: Storefront
Mfr: Kawneer
Size: Standard
Color: Dark Bronze No. 40



9 Wall Sconce as permitted
per the DRB
Mfr: SpecLight
Model: 6" Round Direct
Gamma Series
CW0618PC
CCT: 4000K
Size: 6" x 18"
Color: Bronze



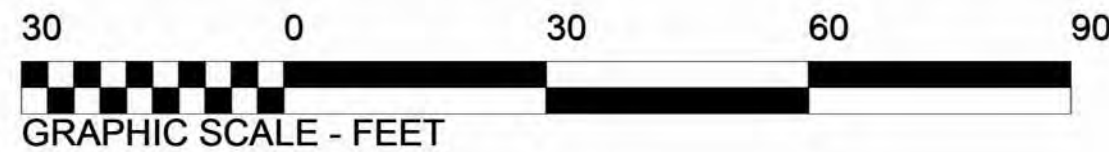
Pinstack

Westlake, Texas

Entertainment Properties Group

EL-04 Elevations

Date: 12.29.2023 Scale As Noted



O'BRIEN

1722 ROUTH ST., SUITE 122
DALLAS, TEXAS 75201
972-788-1010 FAX 972-788-1024

PINSTACK

WESTLAKE, TX

RENDERINGS

DECEMBER 2023

PINSTACK









PINSTACK WESTLAKE

WESTLAKE, TEXAS

HARDSCAPE, LANDSCAPE, IRRIGATION

		Drawings Issued										
		80% PROGRESS SET (12.05.2023)	CITY SUBMITTAL (12.29.2023)									
GENERAL												
L0.00	SHEET INDEX	●	●									
L1.01	GENERAL NOTES AND MATERIAL LEGEND	●	●									
L1.02	TREE SURVEY AND PROTECTION PLAN	●	●									
HARDSCAPE												
L2.01	HARDSCAPE PLAN	●	●									
DETAILS												
L4.01	HARDSCAPE DETAILS	●	●									
PLANTING												
L5.01	PLANTING PLAN	●	●									
L5.02	PLANTING SCHEDULE AND NOTES	●	●									
L5.03	PLANTING DETAILS	●	●									
IRRIGATION												
L6.01	IRRIGATION PLAN	●	●									
L6.02	IRRIGATION SCHEDULE AND NOTES	●	●									
L6.03	IRRIGATION DETAILS	●	●									

PROJECT No.
064505103

DATE
DEC. 2023

SCALE: AS SHOWN

DRAWN BY: JRK

CHECKED BY: PDF

PINSTACK WESTLAKE

SHEET INDEX

SHEET NUMBER
L0.00

PRELIMINARY
FOR REVIEW ONLY
Not for construction or permit purposes
Kimley»Horn
P.L.A. Paul D. Finkbeiner
L.A. No. 2458 Date 12/29/2023

Kimley»Horn

280 EAST DAVIS STREET, SUITE 100
MCKINNEY, TEXAS 75069
PHONE: (469) 301-2589
TEXAS REGISTERED ENGINEERING FIRM F-528

No.

REVISIONS

DATE

BY

1. WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
2. THE CONTRACTOR BEARS ALL RESPONSIBILITY FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO UTILITIES THAT ARE TO REMAIN SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER. LANDSCAPE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY NOT SHOWN ON PLANS.
3. ALL PROPOSED AND FINISHED GRASSES ARE BASED ON INFORMATION PROVIDED BY THE OWNER'S SURVEY AND/OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
4. PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS ARE TO BE SURVEYED, LAID OUT, AND STAKED IN FIELD FOR REVIEW BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
5. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED BY LANDSCAPE ARCHITECT ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTORS ARE TO BID THEIR OWN VERIFIED QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
6. EASEMENTS SETBACKS, BUILDING, CURB AND GUTTER, UNDERGROUND UTILITIES HAVE BEEN SUPPLIED TO LANDSCAPE ARCHITECT BY THE PROJECT CIVIL ENGINEER. REFER TO CIVIL ENGINEERS DRAWINGS FOR ADDITIONAL INFORMATION.

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE PROVIDED FOR ALL PLANTING AREAS. OVER SPRAY ON STREETS AND WALKS IS PROHIBITED.
2. IRRIGATION SYSTEMS SHALL BE MAINTAINED AND REPLACED AS NECESSARY.
3. ALL PLANTING AREAS TO BE FULLY IRRIGATED.
4. IRRIGATION SYSTEM TO HAVE A FULLY AUTOMATED CONTROL SYSTEM.
5. ANY EXISTING PLANTING DAMAGED DURING CONSTRUCTION IS TO BE REPLACED AT NO COST THE OWNER.
6. WHEN THE IRRIGATION SYSTEM IS DAMAGED OR TURNED OFF DURING CONSTRUCTION ACTIVITIES, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAND WATER ALL PLANT MATERIAL AS NEEDED.

1. ALL PROPOSED AND FINISHED GRADES PROVIDED BY KIMLEY HORN ARE BASED ON INFORMATION PROVIDED BY THE SURVEYOR AND /OR CIVIL ENGINEER, ANY DISCREPANCIES IN ACTUAL GRADES ARE TO BE REPORTED TO OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT IMMEDIATELY.
2. REVISIONS TO EXISTING OR LANDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS ARE TO BE SURVEYED, LAID OUT, AND STAKED IN FIELD FOR APPROVAL BY LANDSCAPE ARCHITECTS. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR DEMOLITION, ADJUSTMENTS, OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION.
3. SIDEWALKS ARE TO BE CONSTRUCTED WITH A LONGITUDINAL SLOPE LESS THAN 4.5% (UNLESS SPECIFIED AS A RAMP) AND A CROSS SLOPE LESS THAN 1.5%. CONTRACTOR IS RESPONSIBLE FOR SIDEWALK GRADING, TO ENSURE ACCESSIBILITY AND COMPLIANCE WITH ALL ACCESSIBILITY STANDARDS. CONTRACT OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT WITH ANY CHANGES PRIOR TO HARDSCAPE INSTALLATION.
4. KIMLEY HORN ASSUMES NO RESPONSIBILITY FOR ANY EXCAVATION OR GRADING NOT SHOWN ON PLANS.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS.
6. CONTRACTOR SHOULD BE FAMILIAR WITH ALL CITY PERMITS.
7. CONTRACTOR SHALL CONSULT WITH KIMLEY HORN (THROUGH OWNERS REPRESENTATIVE) THROUGHOUT CONSTRUCTION WITH ANY DISCREPANCIES THAT ALLEVATE POTENTIAL COSTS TO THE OWNER DUE TO CHANGE ORDERS AND REPAIRS RESULTING FROM DESIGN CONFLICTS OR MISINTERPRETATION OF THE DESIGN INTENT. FIELD CHANGES TO THE CONSTRUCTION PLANS WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL INVALIDATES THE LANDSCAPE ARCHITECTS RESPONSIBILITY TO THE BUILT WORK.

PAVING

COLOR: NATURAL GRAY
FINISH: MEDIUM SANDBLAST
CONTROL JOINTS: SAWCUT (1/4 DEPTH OF CONCRETE) @ REGULAR INTERVALS (TYPICAL
JOINT SPACING TO BE EQUAL TO WIDTH OF WALK)
EXPANSION JOINTS: GENERALLY 30' O.C. MAX. (SEE PLANS FOR LOCATION)
JOINT SEALANT: COLOR TO MATCH CONCRETE
IMPORTANT: REPLACE ALL COARSE AGGREGATE WITH 3/8" CRUSHED WHITE LIMESTONE
APPROVAL: MOCKUP, EJ SEALANT SAMPLE

TYPE:	CONCRETE PAVER
MODEL:	CARRIAGE STONE
COLOR:	DARK BROWN
SIZE:	4' x 4' x 80 mm
PATTERN:	GRID
INSTALL:	SAND SET ON 6" CONCRETE SUBBASE (REF. DETAILS)
MANUFACTURER:	KEYSTONE HARDSCAPE
CONTACT:	JOEY GUEDEA (817.481.5802)
APPROVAL:	CUT SHEET, SAMPLE, MOCKUP

TYPE:	TRUNCATED DOME CONCRETE PAVER
MODEL:	CITYSCAPE ADA
COLOR:	CHARCOAL
SIZE:	4' x 8' x 80 mm
PATTERN:	RUNNING BOND
INSTALL:	SAND SET ON 8" CONCRETE SUBBASE (REF. DETAILS)
MANUFACTURER:	KEYSTONE HARDSCAPE
CONTACT:	JOEY GUEDEA (817.481.5802)
APPROVAL:	CUT SHEET, SAMPLE, MOCKUP

	MATERIAL:	PLANTING: 3/16" x 4" STEEL PLATE HARDSCAPE: 1/4" x 6" STEEL PLATE
	COLOR:	PLANTING: POWDERCOAT BLACK HARDSCAPE: POWDERCOAT BLACK
	SIZE:	LENGTHS PER PLAN, ALL SEAMS TO BE FLUSH AND LEVEL
	INSTALL:	REF. DETAILS

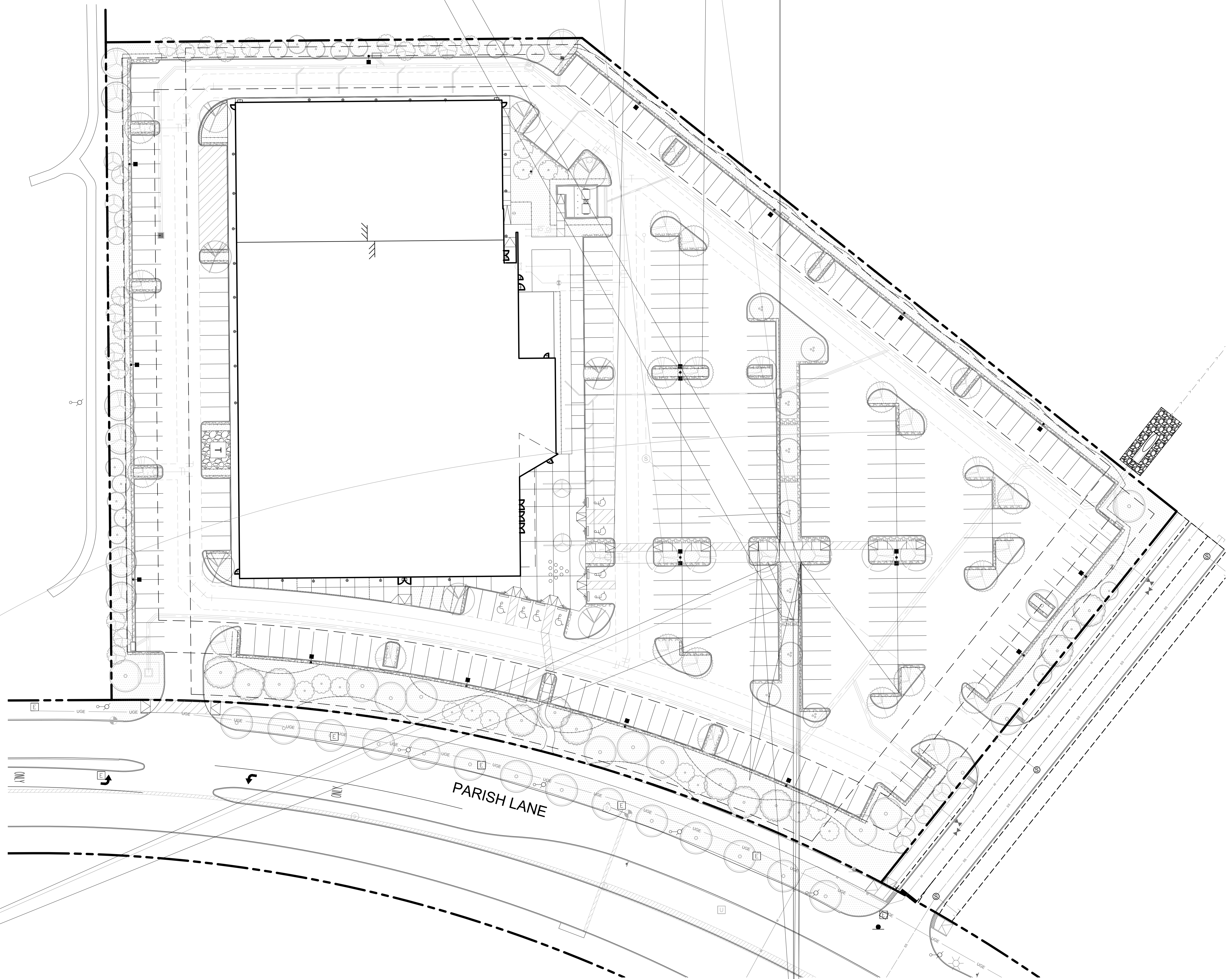
	COLOR:	DUSKY WHITE DARK BROWN
	SIZE:	75% $\frac{3}{4}$ (#3) AGGREGATE, 25% FINES
	DEPTH:	3" DEPTH, COMPACTED IN 1" LIFTS
	STABILIZER:	SOLITAC LIQUID STABILIZER, INSTALL PER MANUFACTURER
	INSTALL:	REF. DETAILS AND SPECIFICATIONS
	SUPPLIER:	MINICK MATERIALS
	CONTACT:	TIM SHANAHAN (405.834.8280)
APPROVAL:		SAMPLE, MOCKUP

	TYPE:	DECORATIVE ROCK
	MATERIAL:	ARCTIC RIVER ROCK
	SIZE:	3-4"
	INSTALL:	REFER DETAILS AND SPECIFICATIONS
	SUPPLIER:	MINICK MATERIALS
	CONTACT:	TIM SHANAHAN (405.834.8280)
APPROVAL:		SAMPLE, MCKUP

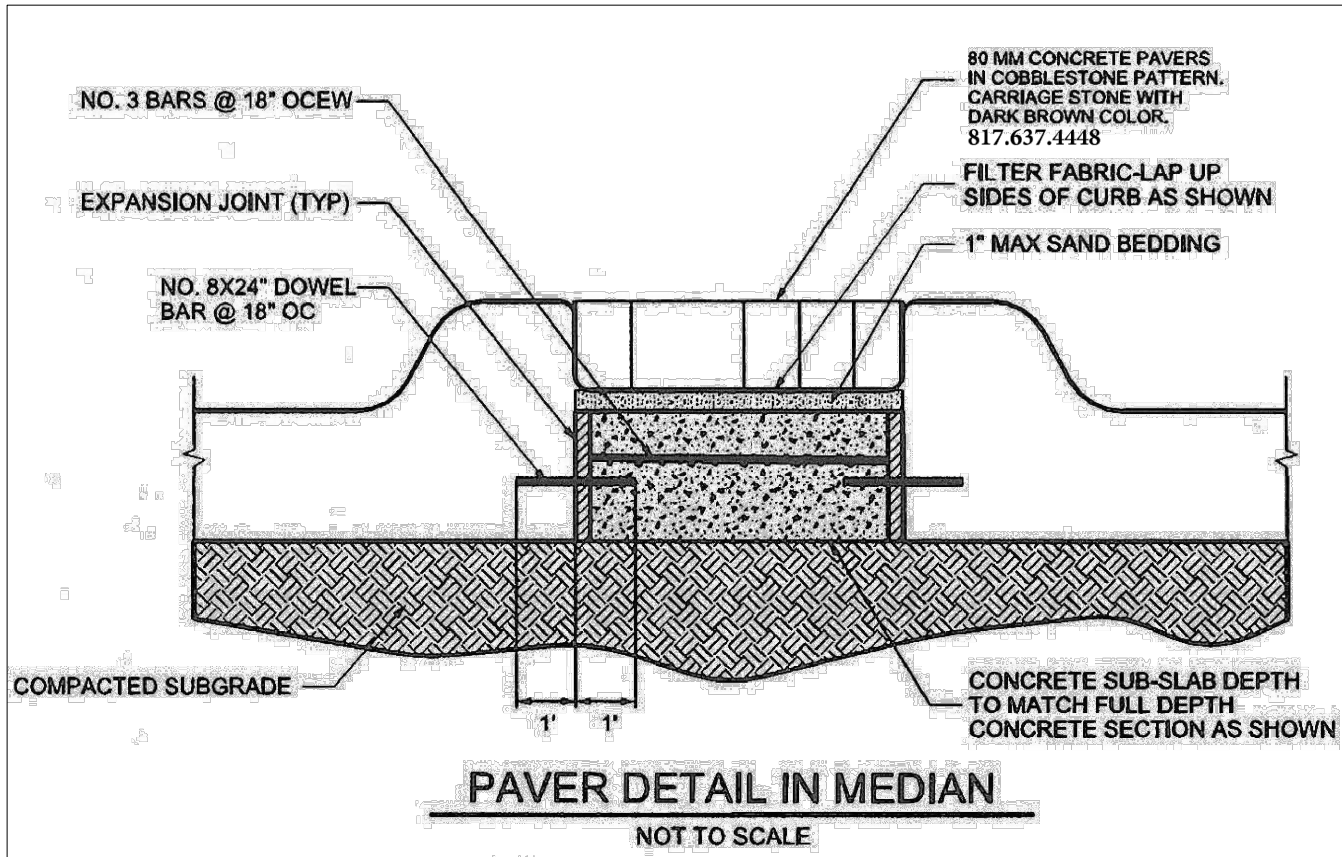
TYPE: TRIO BENCH, BACKED
 MODEL: SBTRO-72BA
 SIZE: 6' LENGTH
 MATERIAL: ALUMINUM
 FINISH: POWDERCOAT
 COLOR: WHITE TEXTURE
 INSTALL: REF. DETAILS AND MANUFACTURER SPECS
 SUPPLIER: FORMS AND SURFACES
 CONTACT: ROB ZELINSKI (800.451.0410)
 APPROVAL: CUT SHEET

TYPE: MIDTOWN LITTER RECEPTACLE
MODEL: MT3-32
SIZE: 32 GALLON, 31" DIA.
MATERIAL: POWDER COATED STEEL
FINISH: POLYESTER POWDER COATING
COLOR: BRONZE 39/60020
INSTALL: REF. DETAILS AND MANUFACTURER SPECS
SUPPLIER: KEYSTONE RIDGE DESIGNS
CONTACT: (724) 284-1213
APPROVAL: CUT SHEET

MI-1	ARTIFICIAL TURTLE
TYPE:	FOREVERLAWN FUSION FLEX
INSTALL:	REF. DETAILS AND MANUFACTURER SPECS
SUPPLIER:	FOREVERLAWN
CONTACT:	JASON DELPH (972.333.0228)
NOTE:	BLADE HEIGHT TO BE $\frac{3}{8}$ " HT MAX.
APPROVAL:	CUT SHEET

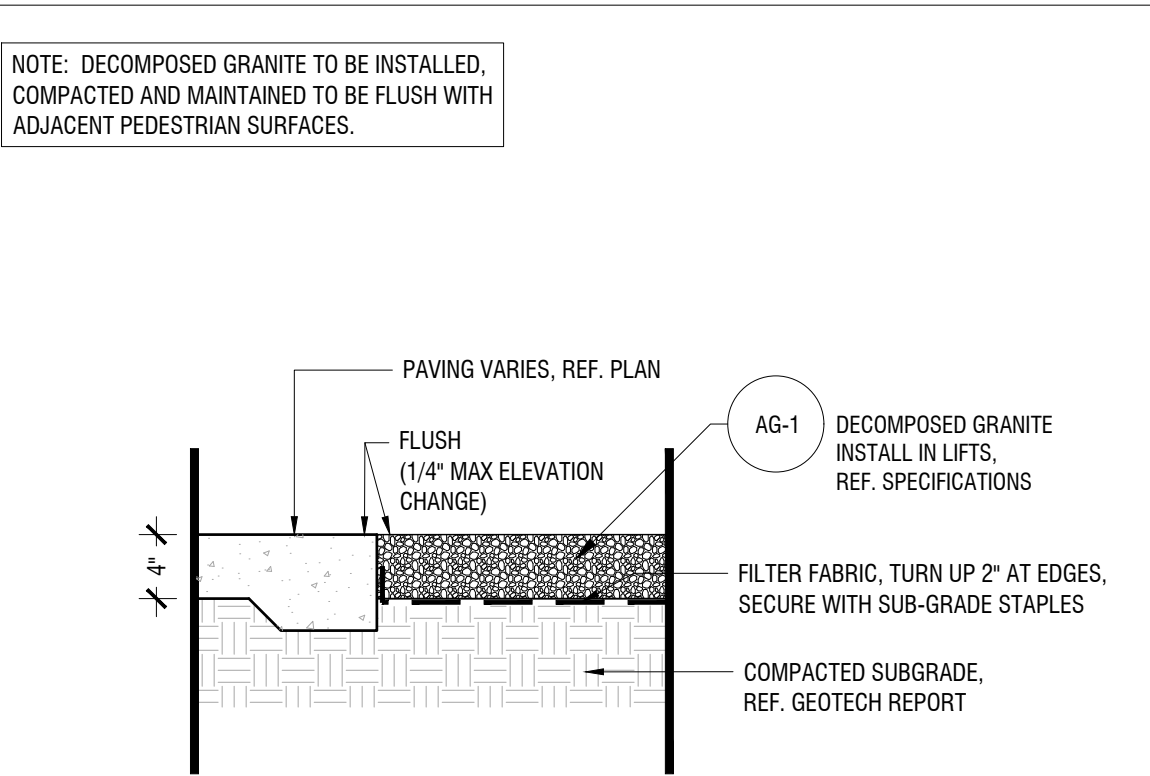


IMAGES
XREFS
XREF: 24636 - XREF Decomposed granite - XREF Concrete pave joints - XREF Decompose Gravel - XREF Paving at building - XREF Concrete sidewalk - XREF Artificial turf - XREF TROUBLESHOOT
KAPPELMAN, JULIA 12/22/2023 1:40 PM
LAST SAVED 12/20/23 6:52 PM
PINSTACK WESTLAKE CAD/SET/TA/LOI HANDSCAPE DETAILS.DWG
THIS DOCUMENT, TOGETHER WITH THE CONCEPTS AND DESIGNS PRESENTED HEREIN, AS AN INSTRUMENT OF SERVICE, IS INTENDED ONLY FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED. REUSE OF AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITHOUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.



Curb Pavers

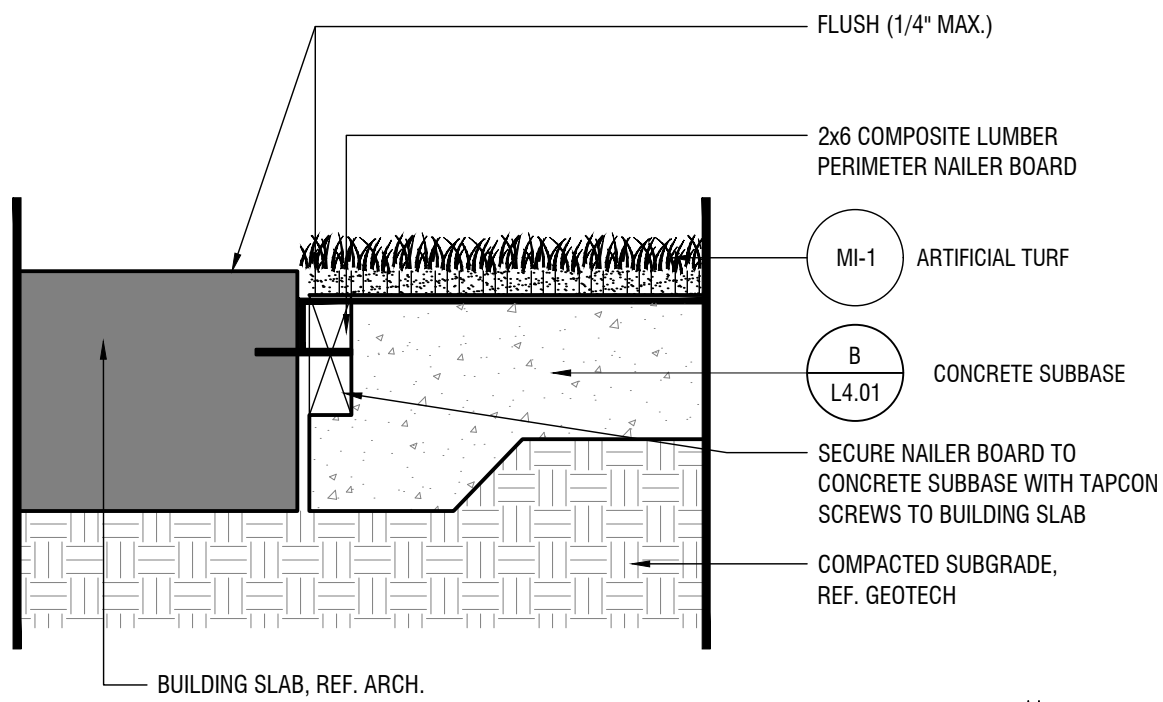
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Decomposed Granite @ Paving

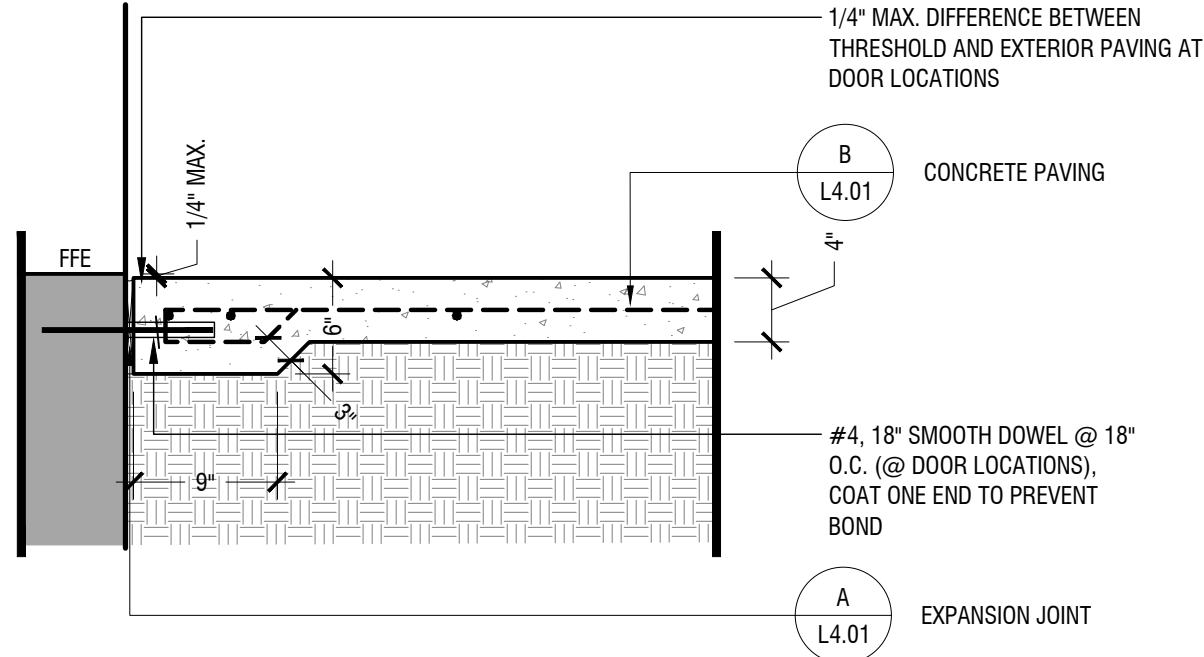
Scale: 1"=1'-0"

- NOTE:
1. INSTALLATION OF ARTIFICIAL TURF TO BE COMPLETED PER MANUFACTURER SPECIFICATIONS.
 2. ARTIFICIAL TURF MUST COMPLY WITH FHAG/ANSI A117.1-1986 SECTION 4.5.3, MUST BE ON FIRM AND STABLE SUBBASE.



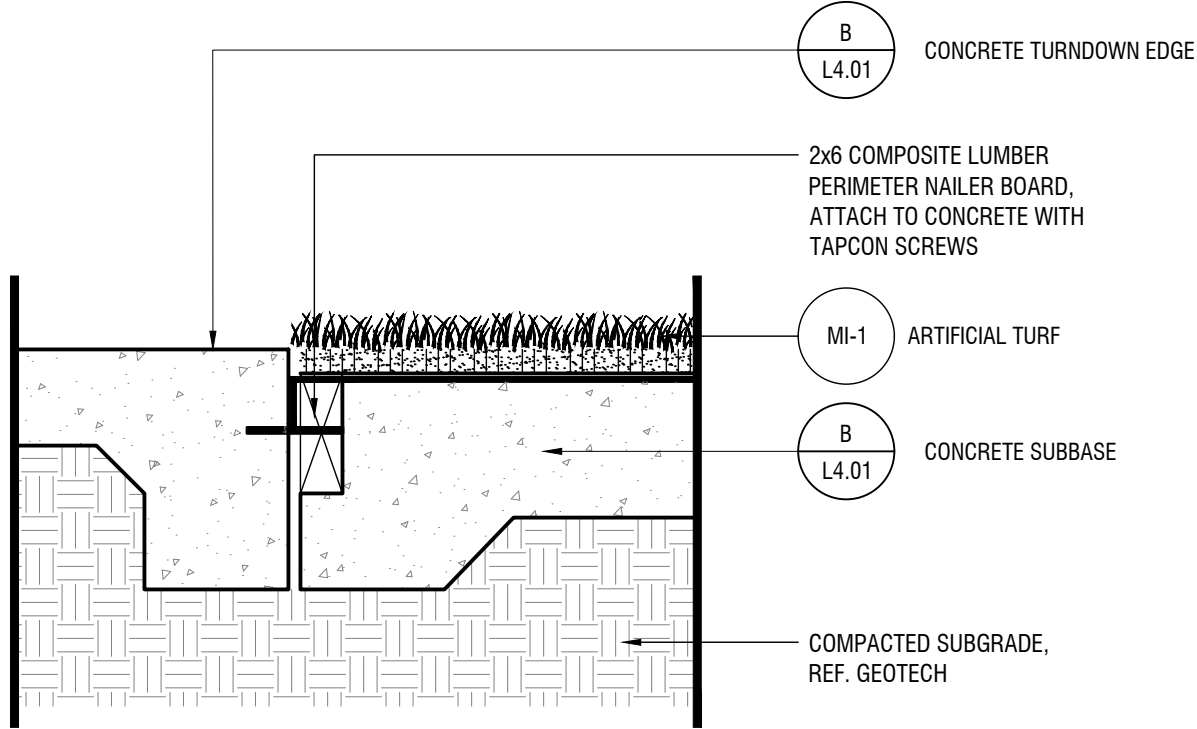
Artificial Turf at Building Slab

Scale: 1 1/2" = 1'-0"



Concrete Paving @ Building

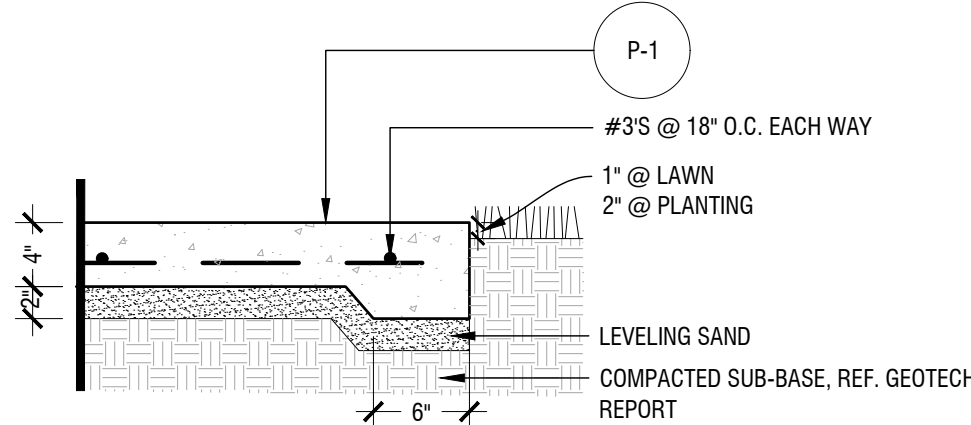
Scale: 1" = 1'-0"



Artificial Turf At Concrete

Scale: 1 1/2" = 1'-0"

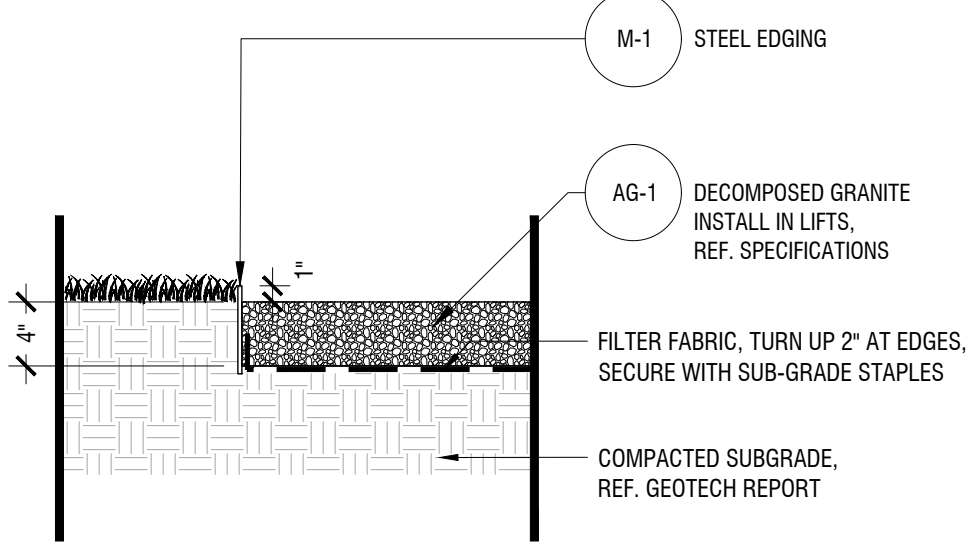
- NOTES:
1. ALL VEHICULAR CONCRETE TO BE DESIGNED BY CIVIL ENGINEER.
 2. ALL PAVING TO MEET SUBGRADE PREPARATION PER GEOTECH REPORT.
 3. ALL PAVING IN CITY ROW TO MEET CITY OF WESTLAKE STANDARDS.



Typ. Concrete Paving

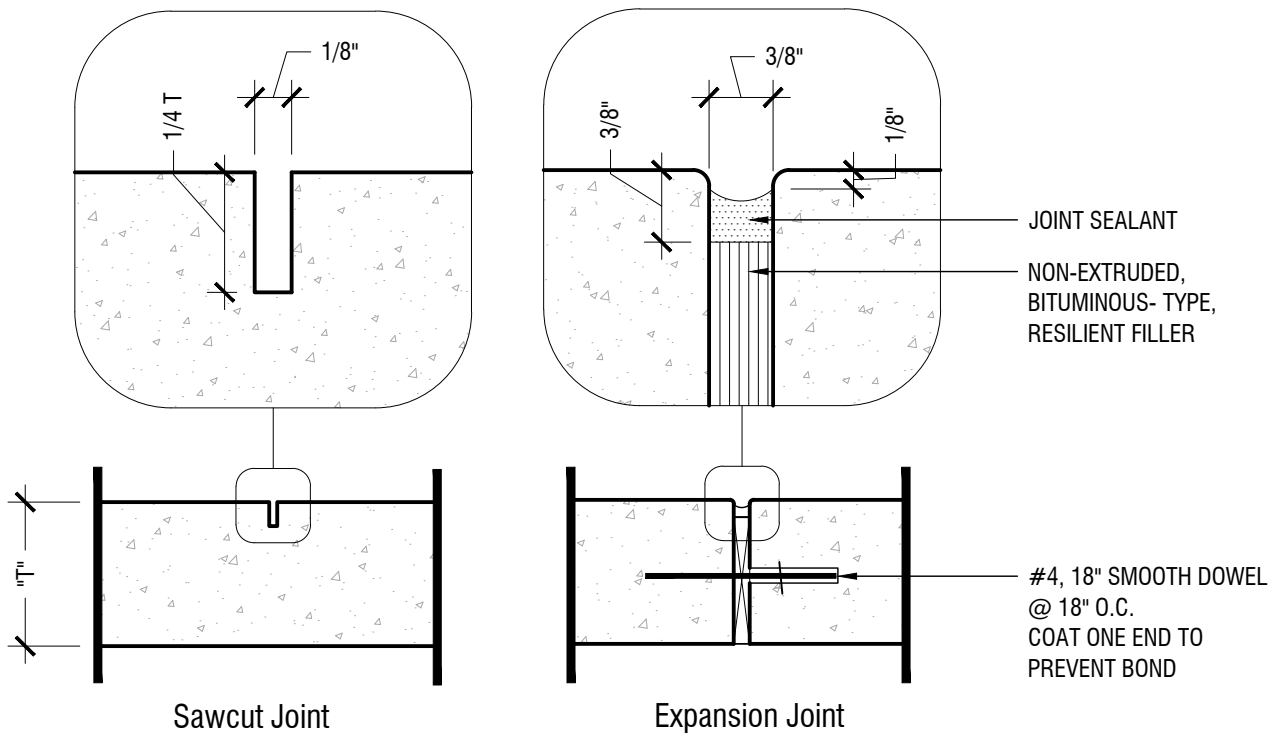
Scale: 1" = 1'-0"

NOTE: DECOMPOSED GRANITE TO BE INSTALLED, COMPACTED AND MAINTAINED TO BE FLUSH WITH ADJACENT PEDESTRIAN SURFACES.



Decomposed Granite @ Planting

Scale: 1"=1'-0"

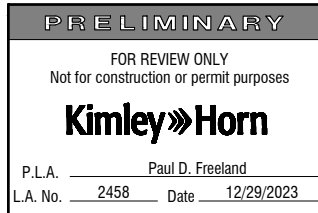


Concrete Paving Joints

N.T.S.

Kimley»Horn

260 EAST DAVIS STREET, SUITE 100
MCKINNEY, TEXAS 75069
PHONE: (469) 301-2389
TEXAS REGISTERED ENGINEERING FIRM F-928

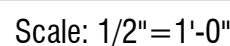
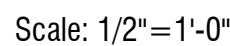
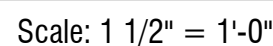
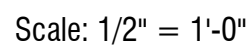


PROJECT No.	DATE	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY
094505103	DEC 2023	AS SHOWN	JRK	JRK	PDF

PINSTACK WESTLAKE

HARDSCAPE DETAILS

SHEET NUMBER
L4.01



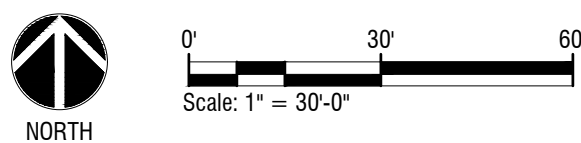
PROJECT No. 064505103
DATE: DEC. 2023
SCALE: AS SHOWN
DESIGNED BY: JRK
DRAWN BY: JRK
CHECKED BY: JRE

PINSTACK WESTLAKE

PLANTING DETAILS

SHEET NUMBER
L5.03

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter P-ROS-04-PRS40 Adj Series Turf Spray, 40psi regulated 4in. pop-up
	Hunter P-ROS-PRS30-04-CV-PCN Bubble Bubbler, 4in. pop-up, factory installed drain check valve.
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION
	Hunter ICG-102-K11 Drip Controller Zone Kit. 1in. ICG Globe Valve with 1in. HY100 filter system.
	Pressure Regulation: 40psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.
	Area to Receive Dripline Hunter HDL-06-12-CV
	HDL-06-12-CV: Hunter Dripline w/ 0.6 GPH emitters at 12" O.C. Check valve, dark brown tubing with gray striping. Dripline laterals spaced at 12" apart, with emitters offset for triangular pattern. Install with Hunter PLD barbed or PLD-LOC fittings.



Scale: 1" = 30' - 0"

SHEET NUMBER
L6.01

IRRIGATION PLAN

PROJECT No. 064505103
DATE: DEC. 2023
SCALE: AS SHOWN
DESIGNED BY: JRK
DRAWN BY: JRK
CHECKED BY: PDF

PRELIMINARY
 FOR REVIEW ONLY
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Kimley»Horn

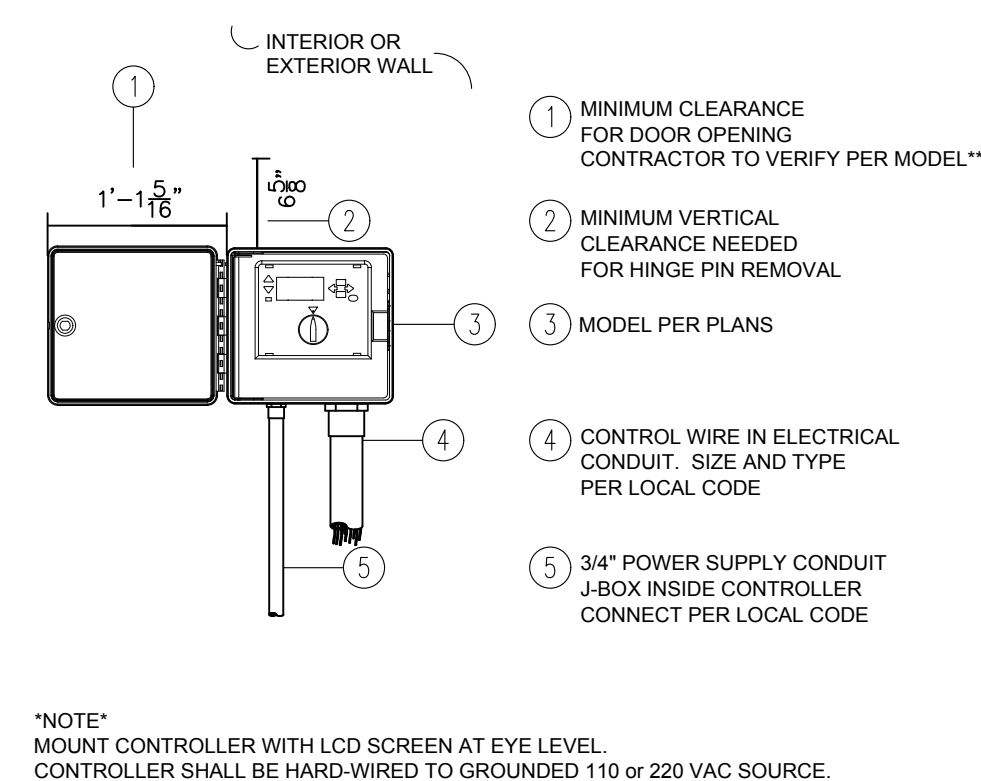
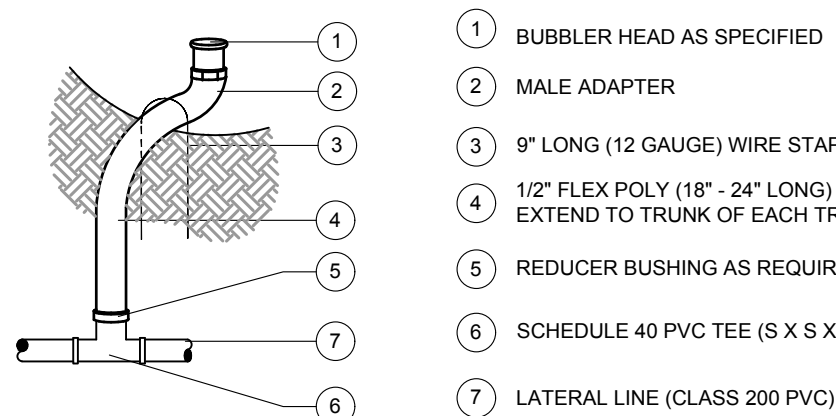
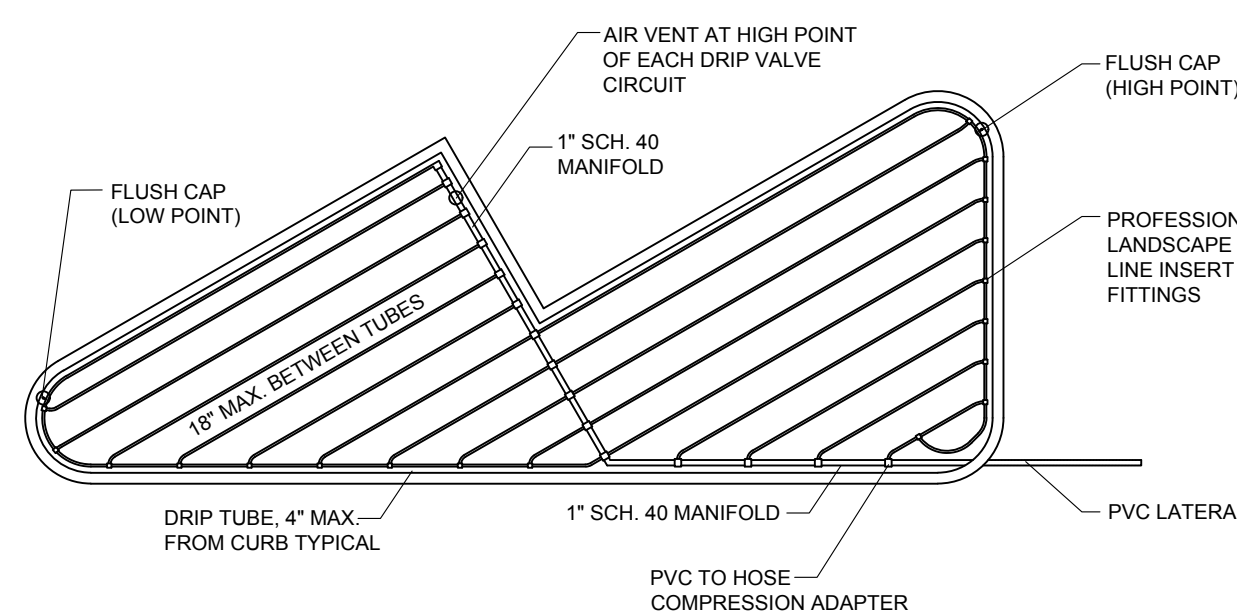
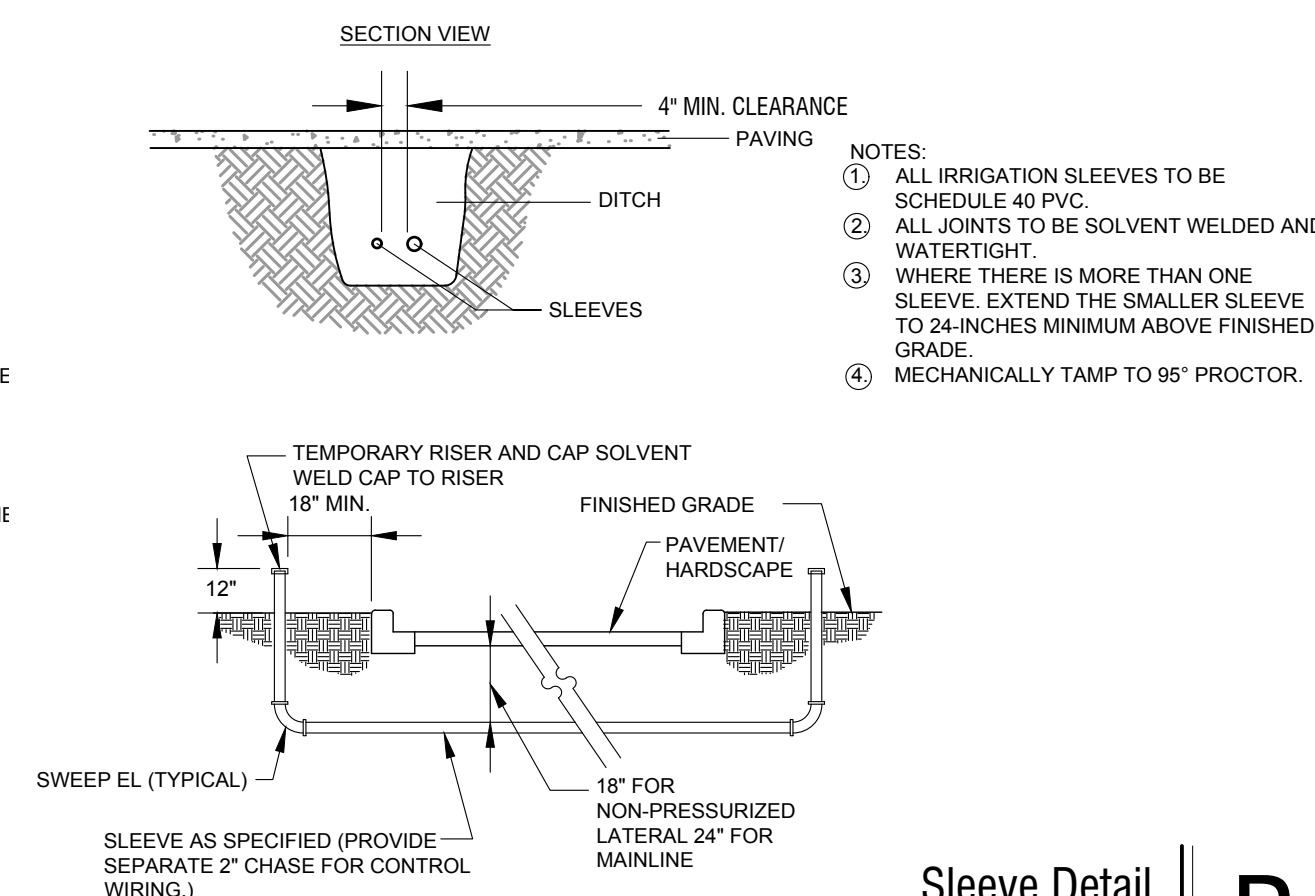
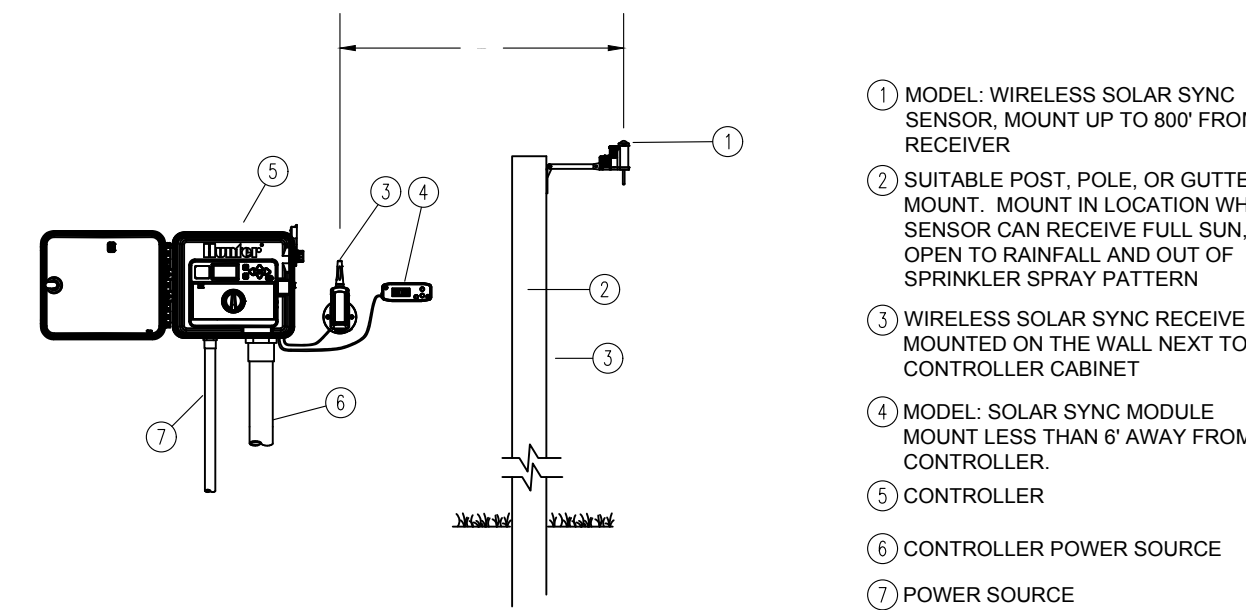
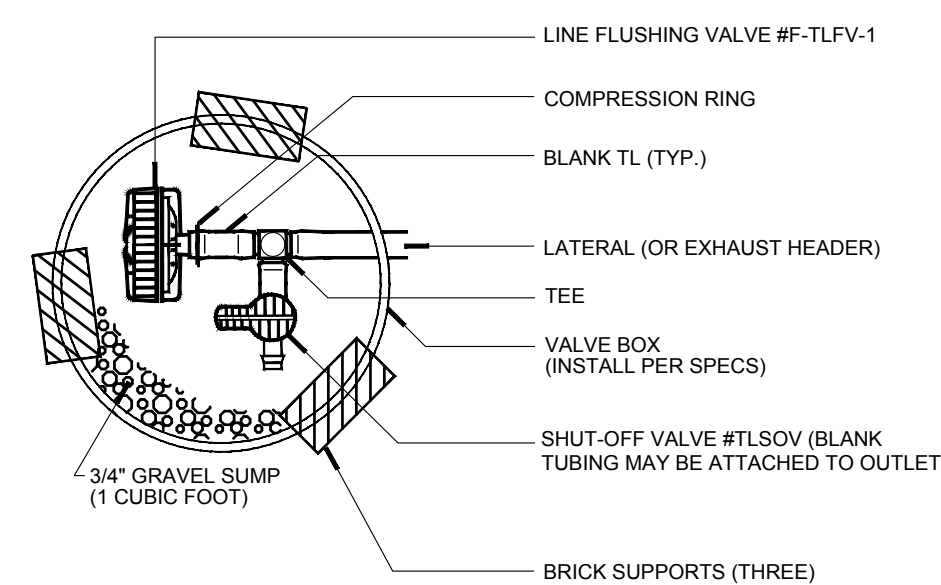
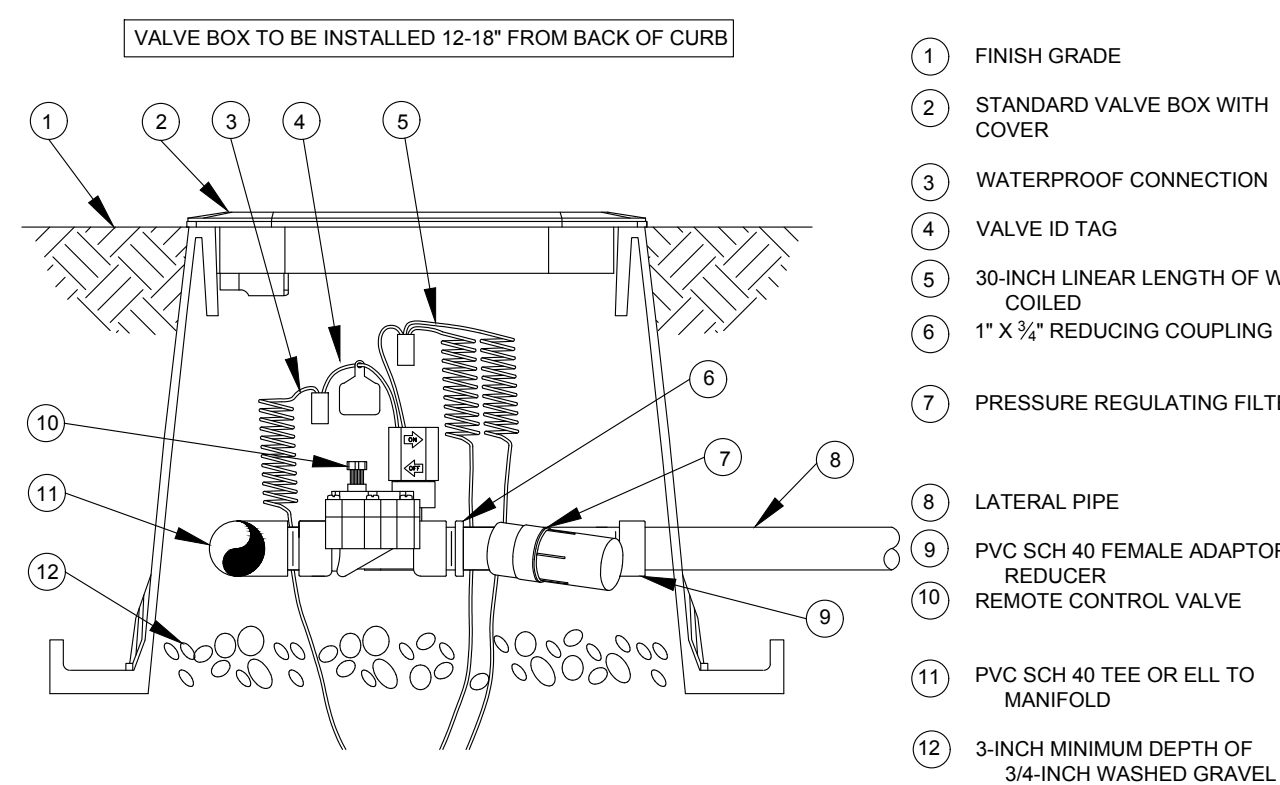
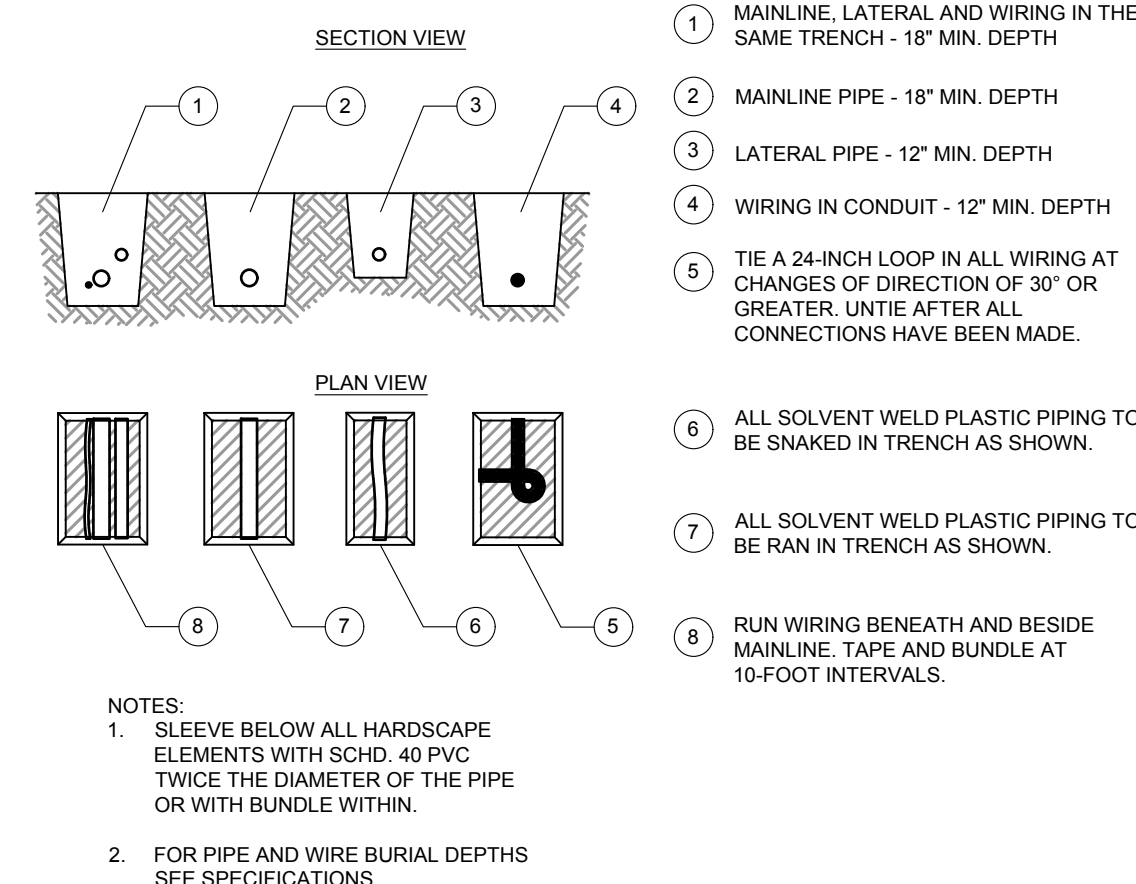
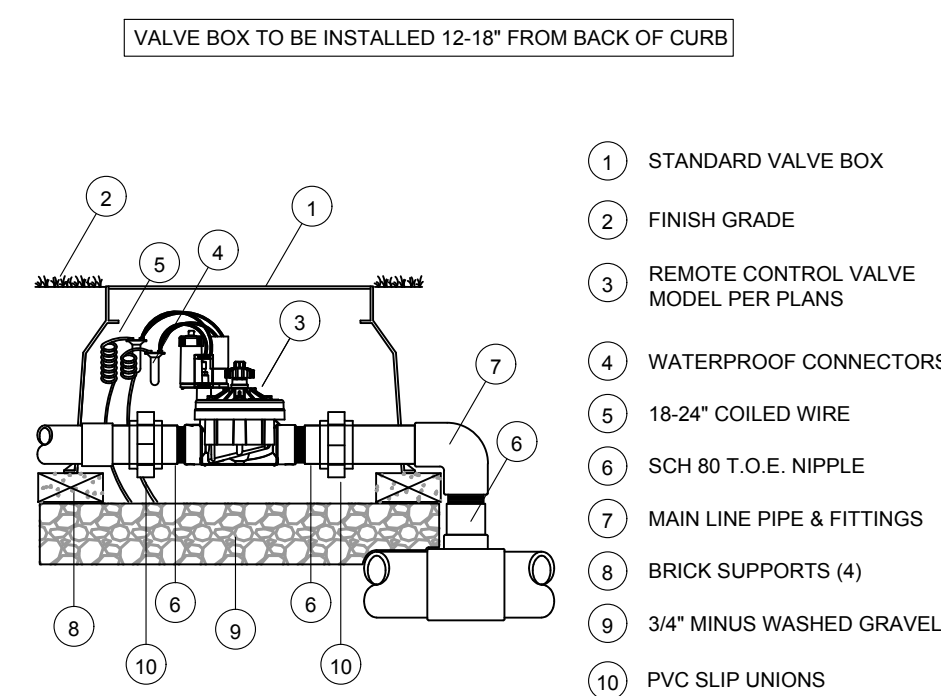
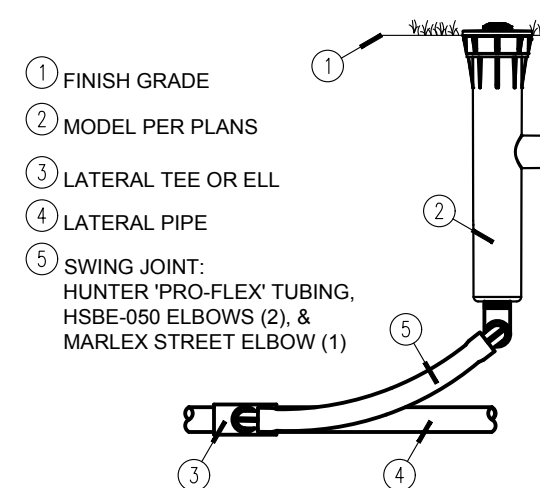
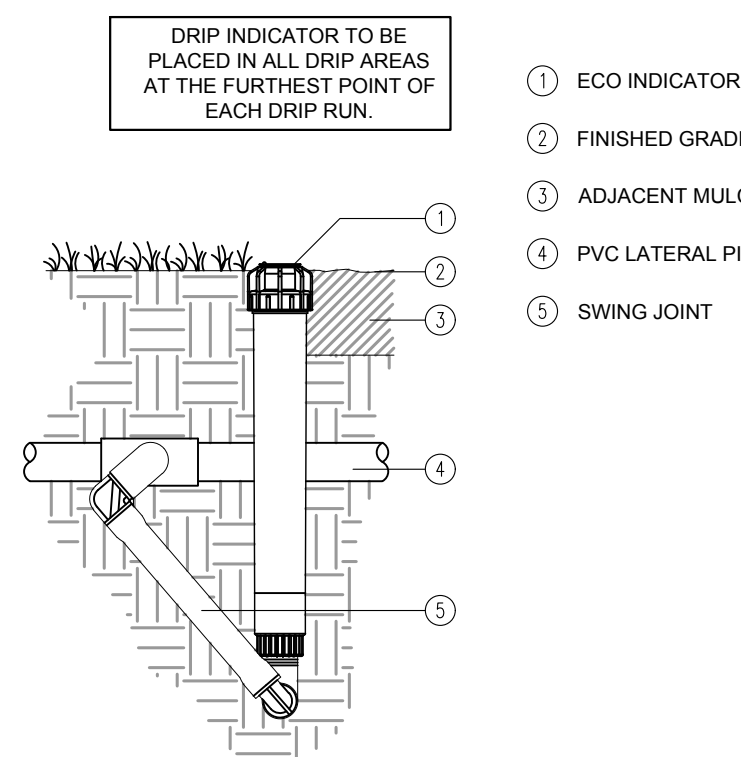
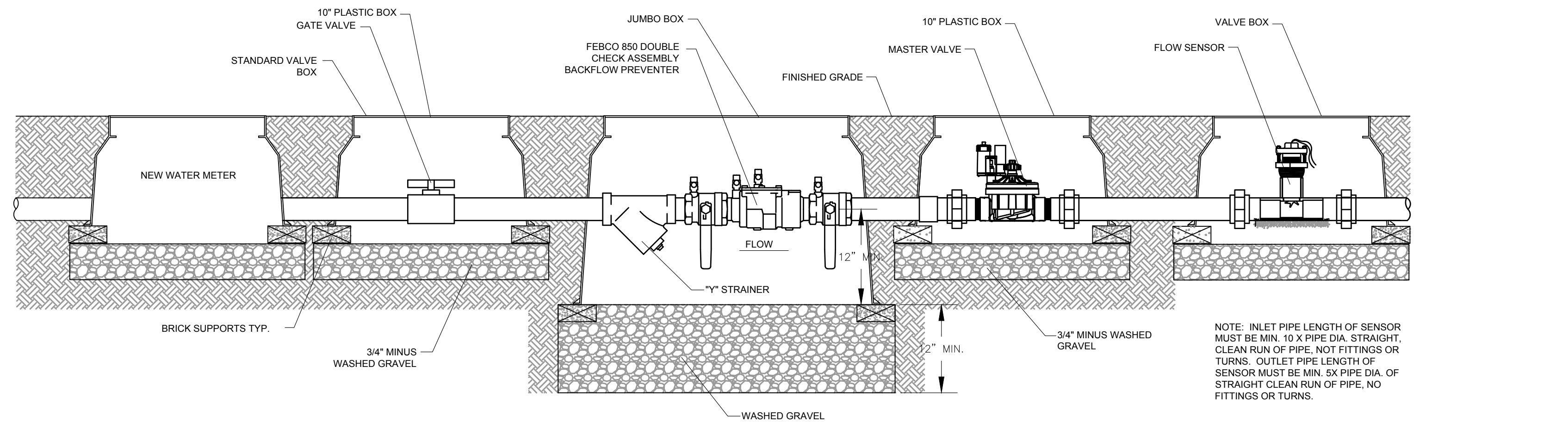
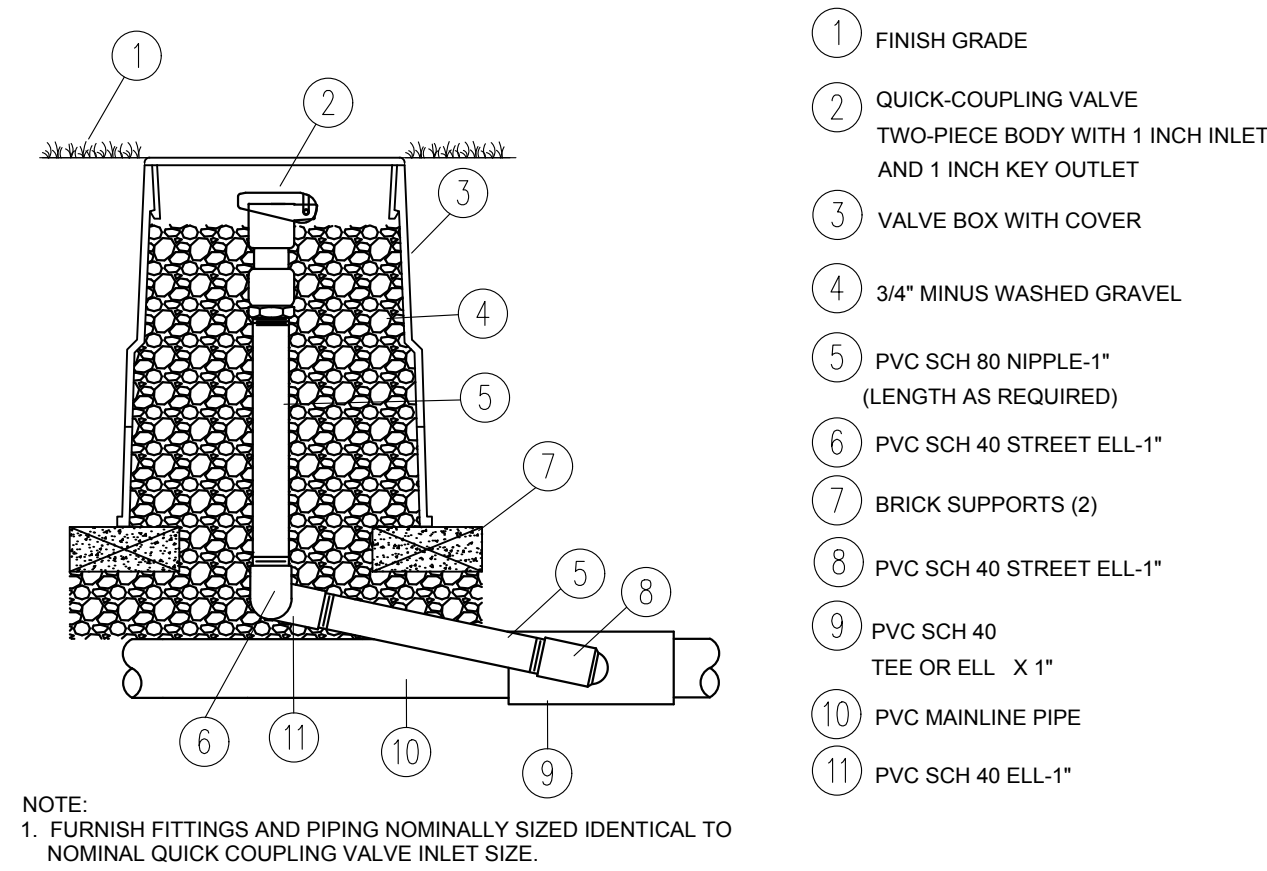
P.L.A. _____ Paul D. Freeland
 L.A. No. 2458 Date 12/23/2023

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TEXAS REGISTERED ENGINEERING FIRM F-928

No.	REVISIONS
-----	-----------

DATE	BY
------	----



PVC PIPE SIZE	SOLVENT WELD SCH. 40 FITTINGS	BELL AND GASKET FITTINGS	SOCKETED PIPE
1/2"	2"	--	2"
3/4"	2"	--	2"
1"	2 1/2"	--	2 1/2"
1 1/4"	3"	--	3"
1 1/2"	3"	3"	3"
2"	4"	4"	4"
2 1/2"	6"	6"	6"
3"	6"	6"	6"
4"	8"	8"	8"

[illegible]

Kimley»»Horn
260 EAST DAVIS STREET, SUITE 100
MCKINNEY, TEXAS 75069
PHONE: (469) 307-2369
FAX: (469) 307-2399
TEXAS REGISTERED ENGINEERING FIRM F-928

PROJECT No. 064505103	DATE: DEC. 2023
SCALE: AS SHOWN	DESIGNED BY: JRK
DRAWN BY: JRK	CHECKED BY: PDF

PINSTACK WESTLAKE

RRIGATION DETAILS

SHEET NUMBER
L6.03

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A

FRONT & BACK LIT CHANNEL LETTERS

B

472"

60"

PINSTACK

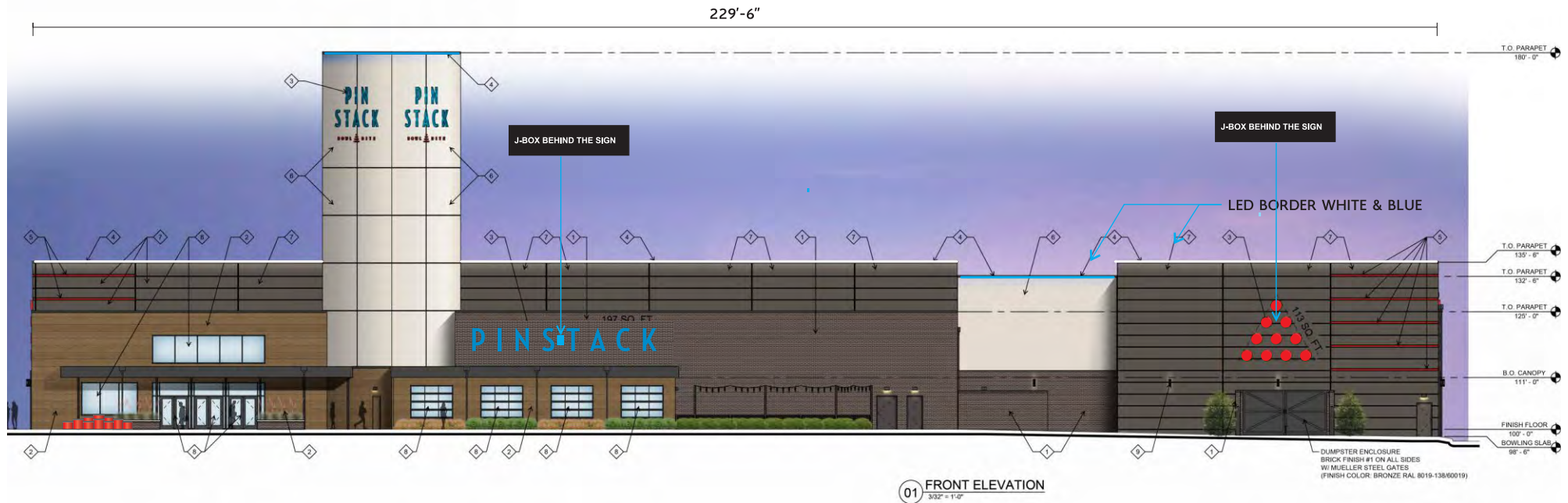
196.6 SQ.FT.

~176"

187.61 SQ.FT.

~153 1/2"

~25 3/4"



TEXAS PRO SIGNS

214.956.7811 972.241.6744

www.texasprosigns.com

2312 Fabens Rd, Dallas, TX 75229

TITLE : PINSTACK

FILE : PINSTACK_WESTLAKE BD FRONT 01

ADDRESS : TBD

SCALE : 1:384

DESIGNER : K, NAM

DATE : 12/1/2023

CLIENT APPL LANDLORD APPL PERMIT

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C

FRONT & BACK LIT CHANNEL LETTERS

D

221"

~162"

PIN
STACK

BOWL BITE

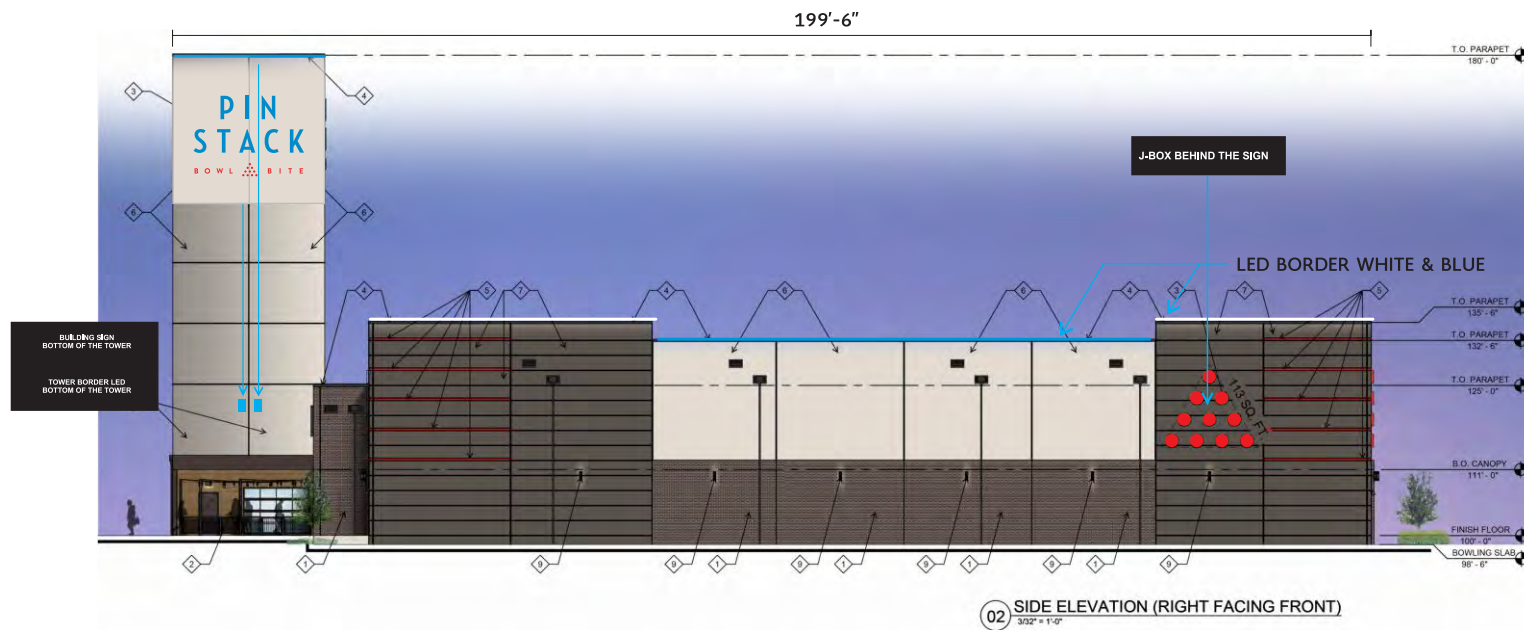
~48"
~48"
~10½"
~26¾"

~176"

187.61 SQ.FT.

~153½"

~25¾"



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ADDRESS : TBD

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DESIGNER : K, NAM

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INSTALL

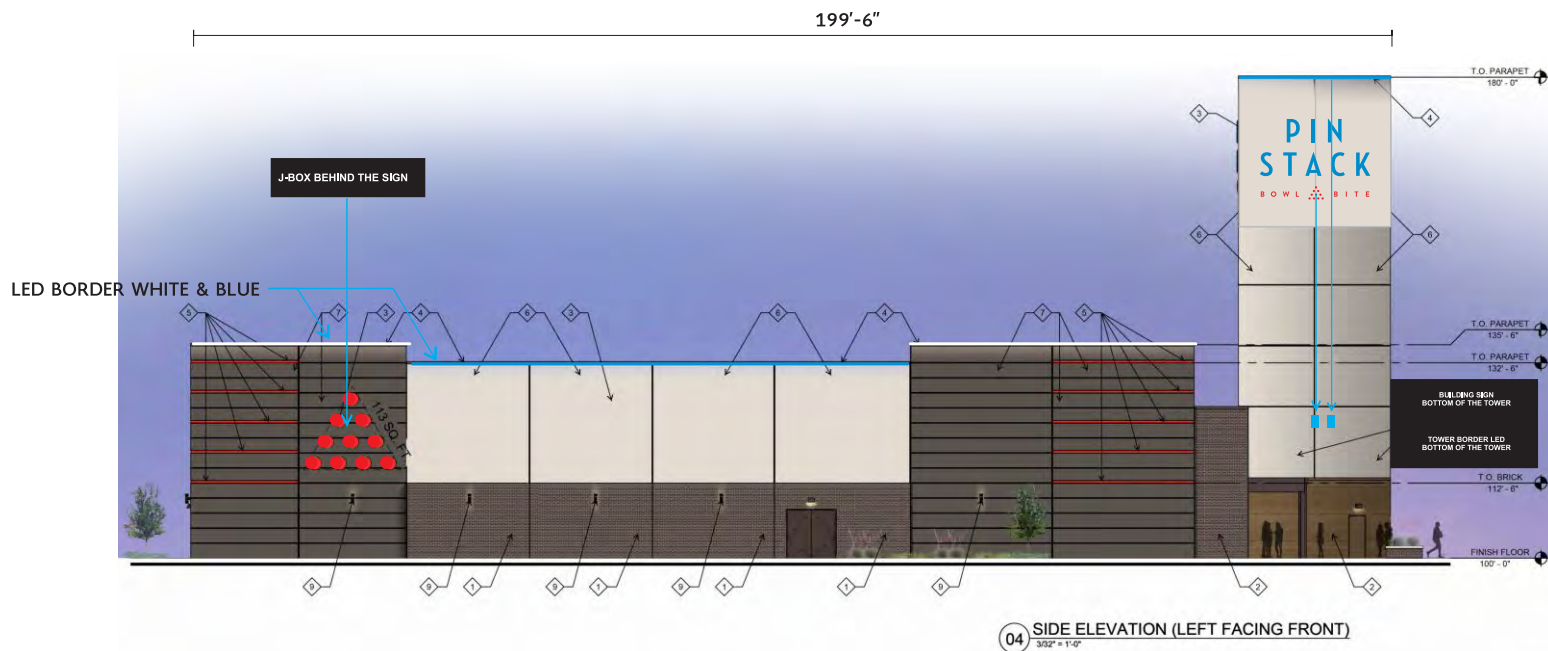
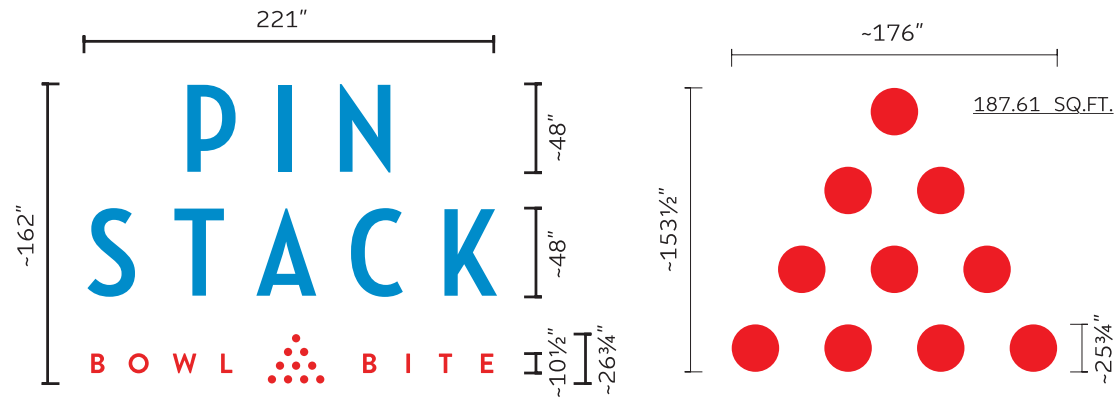
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E

FRONT & BACK LIT CHANNEL LETTERS

F



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FRONT & BACK LIT CHANNEL LETTERS

G

221"

~162"

PIN
STACK

BOWL BITE

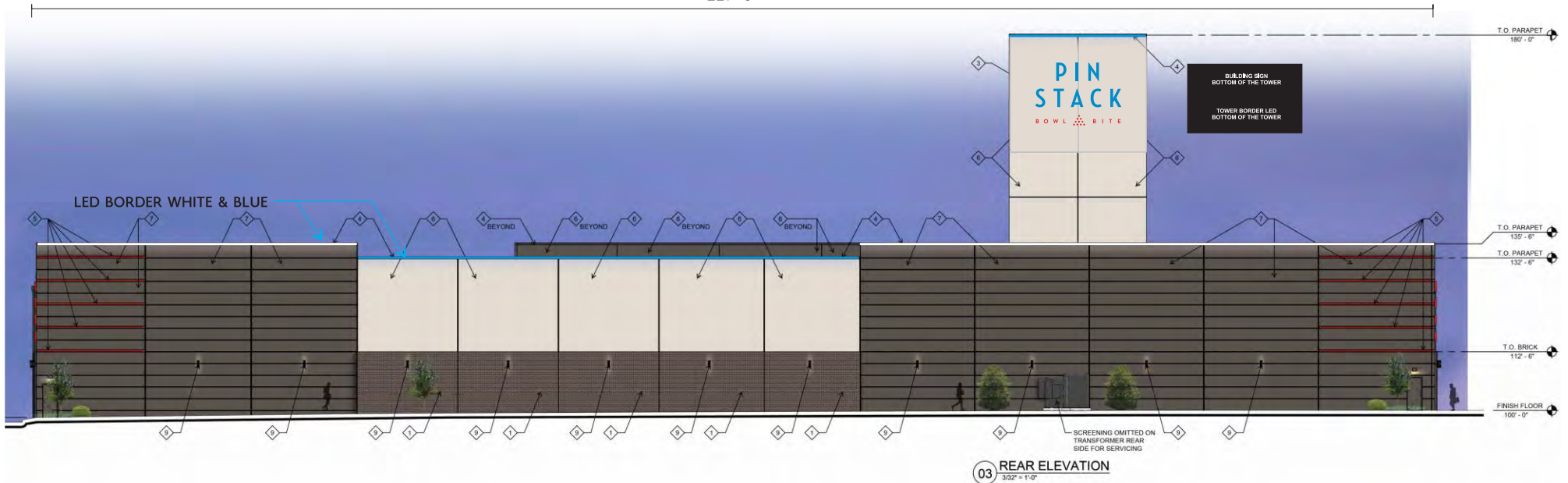
~48"

~48"

~10 1/2"

~26 3/4"

229'-6"



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FILE : PINSTACK_GENERAL_BD WEST 01
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SCALE : 1:384
DESIGNER : K, NAM
DATE : 12/1/2022

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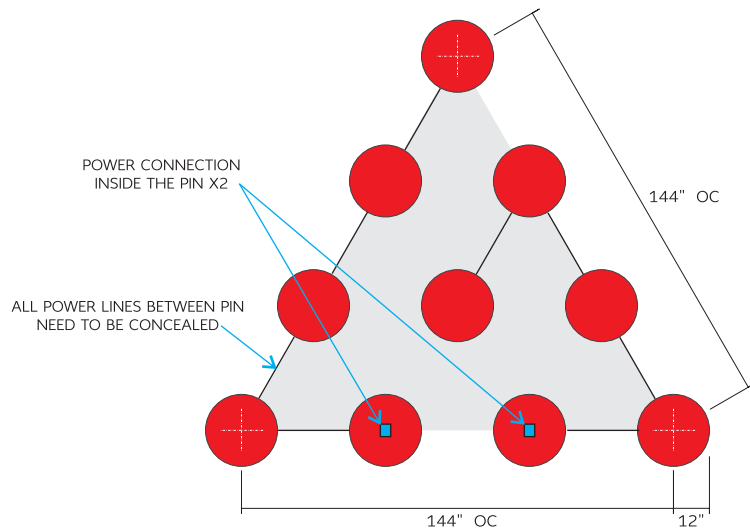
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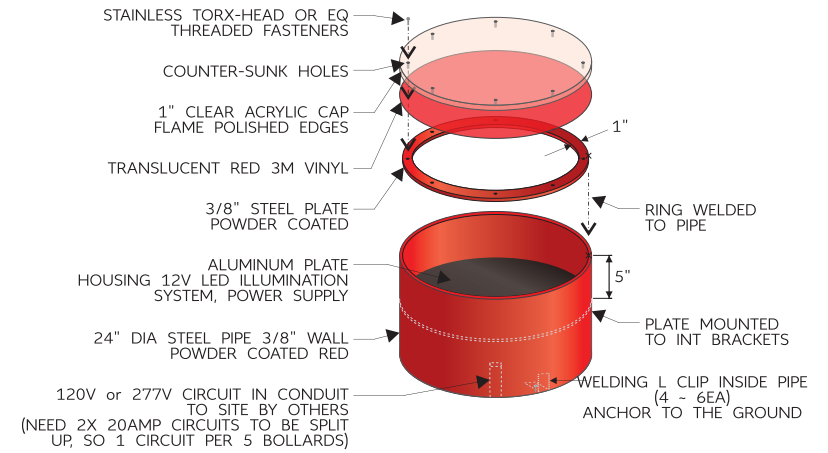
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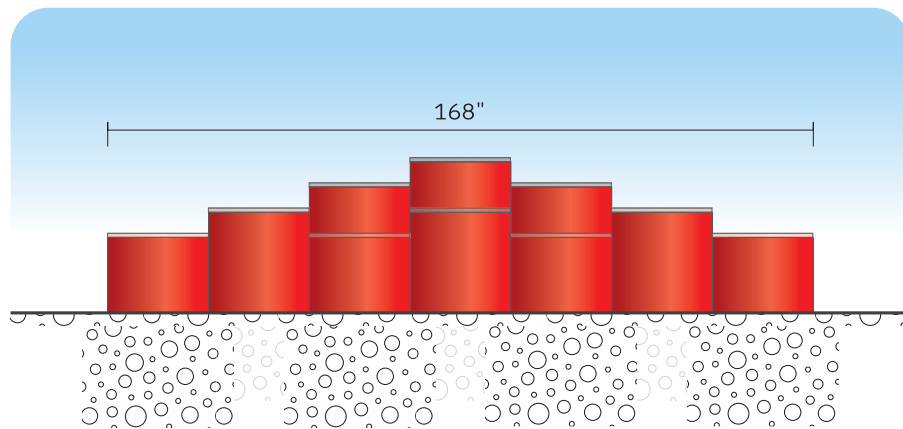
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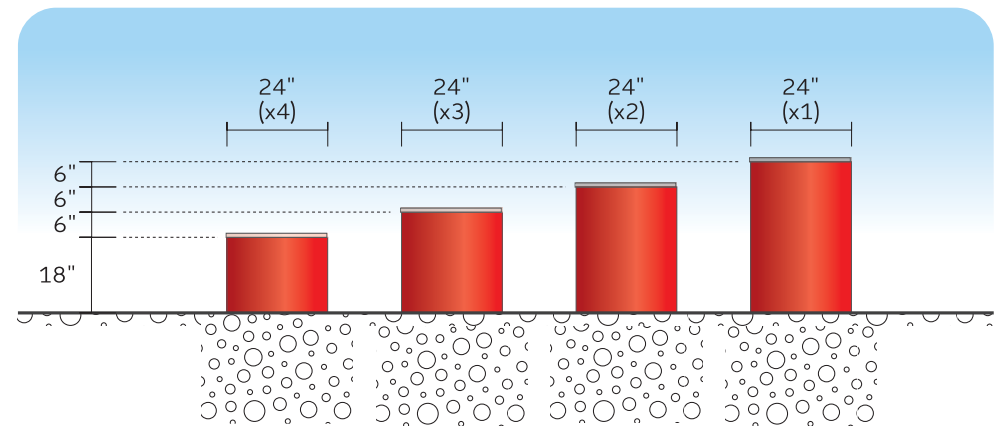
ASSEMBLY DETAIL



FRONT VIEW · SCALE = 1:64



SIDE VIEW · SCALE = 1:64



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TITLE : PINSTACK

FILE : PINSTACK_WESTLAKE BD FRONT BOLLARD 01

ADDRESS : TBD

SCALE : 1:384

DESIGNER : K, NAM

DATE : 12/1/2023

CLIENT APPL

LANDLORD APPL

PERMIT

PROJECT

PRODUCTION

INSTALL

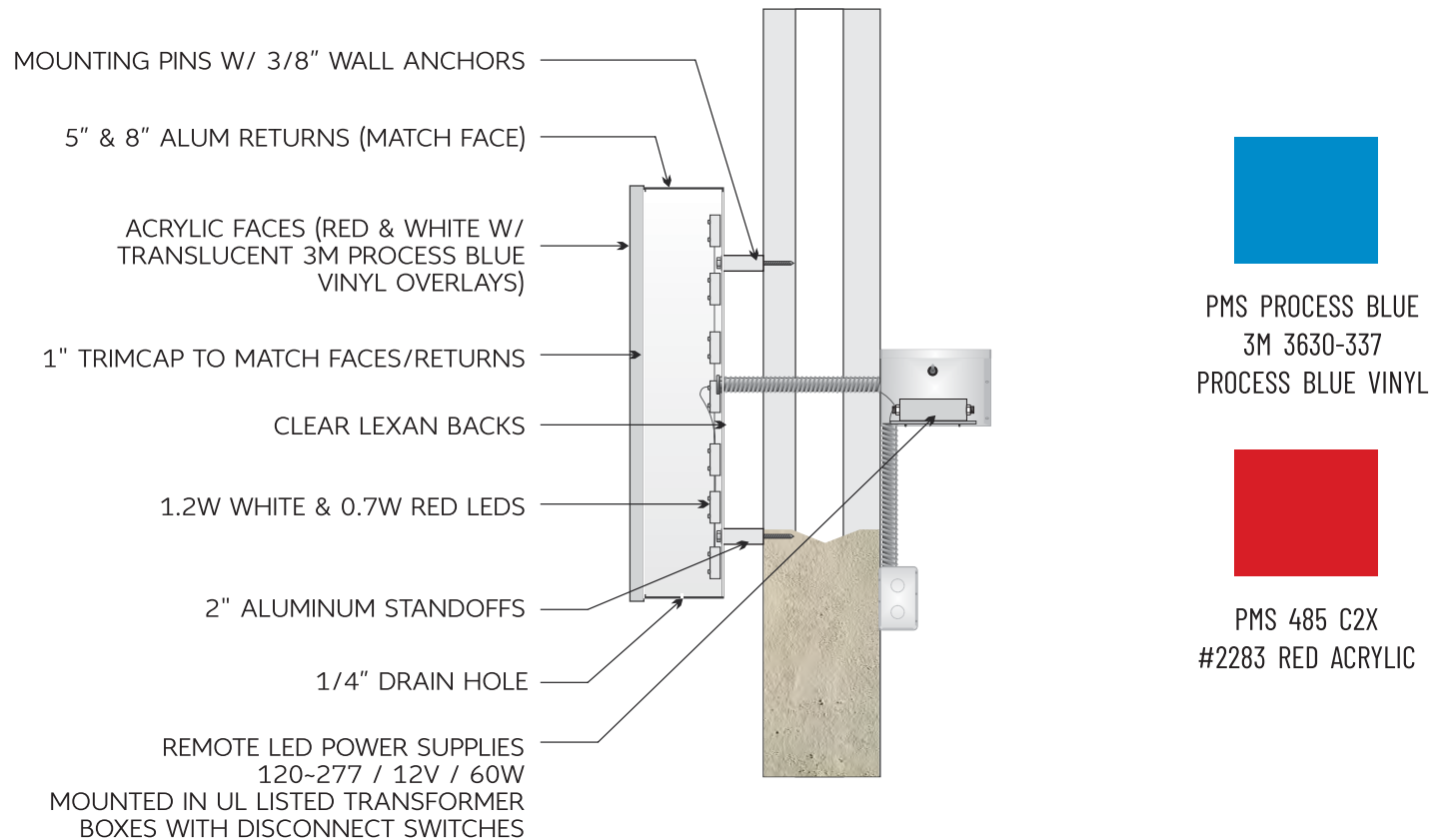
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WALL & TOWER SIGNS DETAILS

A B C D E F G

FRONT & BACKLIT INDIVIDUAL CHANNEL LETTERS W/ STANDOFF MOUNT



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FILE : PINSTACK_GENERAL_BD SIGN DETAILS

ADDRESS : TBD

SCALE : 1:384

DESIGNER : K, NAM

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LANDLORD APPL

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PINSTACK SIGN & ELECTRICAL PAN

BORDER LED
24V WHITE & BLUE FLEX LED
24V 100W POWER SUPPLY (17AMP)
1 ROLL / 18'-6" = 1 POWER SUPPLY
120-277V

2 POWER SUPPLY W/ BOX
1 POWER SUPPLY W/ BOX

BUILDING SIGN
12V WHITE & RED LED MODULE
12V 60W POWER SUPPLY (0.7AMP)
WHITE LED = 1 POWER SUPPLY
RED LED = 1 POWER SUPPLY
120-277V

