



Town of Westlake

1500 Solana Blvd
Building 7, Suite 7100
Westlake, TX 76262

Planning & Zoning Commission Agenda

Tuesday, March 21, 2023

5:00 PM

Council Chambers

In an effort of transparency, this meeting will be viewable to the public via Live Stream and recorded and available for playback. In an effort of meeting efficiency, any individual wishing to speak during citizen comments or during public hearings must submit a speaker request form and provide to the Recording Secretary. Forms are available online, visit www.westlake-tx.org.

A. WORK SESSION (5 PM)

- A.1. [23-91](#) Discussion and presentation regarding a potential residential development of 32.88 acres located between Sam School Road and State Highway 114 Southeast of the Solana Development. and take appropriate action
- A.2. [23-93](#) Discussion and presentation regarding the Town's Comprehensive Plan and potential future updates to the plan

B. CALL TO ORDER - REGULAR MEETING (6 PM)

C. PLEDGE OF ALLEGIANCE

D. CITIZEN COMMENTS:

E. PUBLIC HEARING(S)

- E.1. [23-95](#) Conduct a public hearing and consider a recommendation approving proposed amendments to Ordinance 693, approving the zoning and concept plan for the PD1-3 zoning district (Granada), in order to allow for the construction of a guard house at the main entry gate into the development.

F. REGULAR AGENDA ITEM(S)

- F.1. [23-96](#) Consider approving a Planning & Zoning Commission Minutes from February 13, 2023 and take appropriate action.

G. ADJOURNMENT

IMPORTANT NOTE: ANY ITEM ON THIS POSTED AGENDA MAY BE DISCUSSED IN CLOSED EXECUTIVE SESSION IF IT FALLS INTO THE PERMITTED CATEGORIES PURSUANT TO TEXAS GOVERNMENT CODE.

CERTIFICATION

I certify that the above notice was posted on the bulletin board at Town of Westlake, Town Hall, located at 1500 Solana Blvd., Building 7, Suite 7100, Westlake, TX 76262, in compliance with the Texas Open Meetings Act, Chapter 551 of the Texas Government Code.



Amy M. Piukana, Town Secretary

Disabilities Notice: If you plan to attend the meeting and have a disability that requires special needs, please contact the Town Secretary's Office 48 hours in advance at Ph. 817-490-5711 and reasonable accommodations will be made to assist you.



Town of Westlake

1500 Solana Blvd
Building 7, Suite 7100
Westlake, TX 76262

Staff Report

File #: 23-91

Agenda Date: 3/21/2023

Agenda #: A.1.

TOWN STAFF REPORT RECCOMENDATIONS

Discussion and presentation regarding a potential residential development of 32.88 acres located between Sam School Road and State Highway 114 Southeast of the Solana Development. and take appropriate action

STAFF: Ron Ruthven, Director of Development and Planning

BACKGROUND:

Sage Westpark, Ltd. purchased the subject property three years ago from BRE Solana (Blackstone) with the intent to develop the property for primarily residential uses. The property is currently zoned PD1-1, which allows only non-residential uses.

The purpose of this item is to allow the property owner, and the potential developer, Lovett, to present and discuss a potential residential development on property, which is located along SH 114 southeast of the Solana Plaza development. Attached is a presentation provided by the property owner/developer describing the potential development on the property. Additional materials will be provided at the workshop discussion.

Based on any feedback and discussion with the Commission, the property owner/developer may return with a formal zoning application seeking approval for development of the property.

This item is for discussion only and is not an action item.

ATTACHMENTS:

1. Location Map
2. Zoning Map
3. Comprehensive Plan - Future Land Use Map & District Description
4. Presentation provided by property owner/developer

Location Map

Solana Blvd.

Sam School Rd..

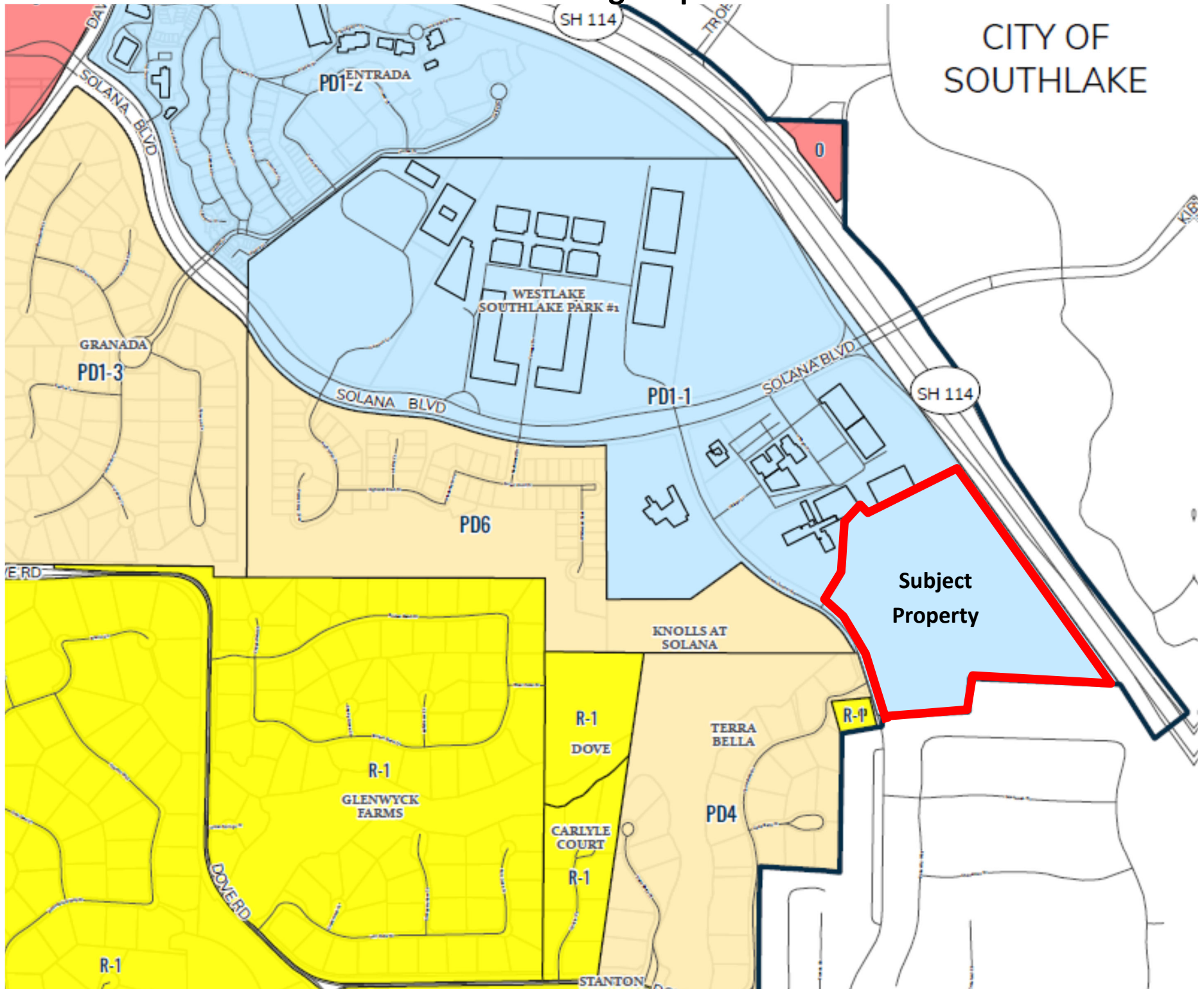
SH 114

Subject
Property

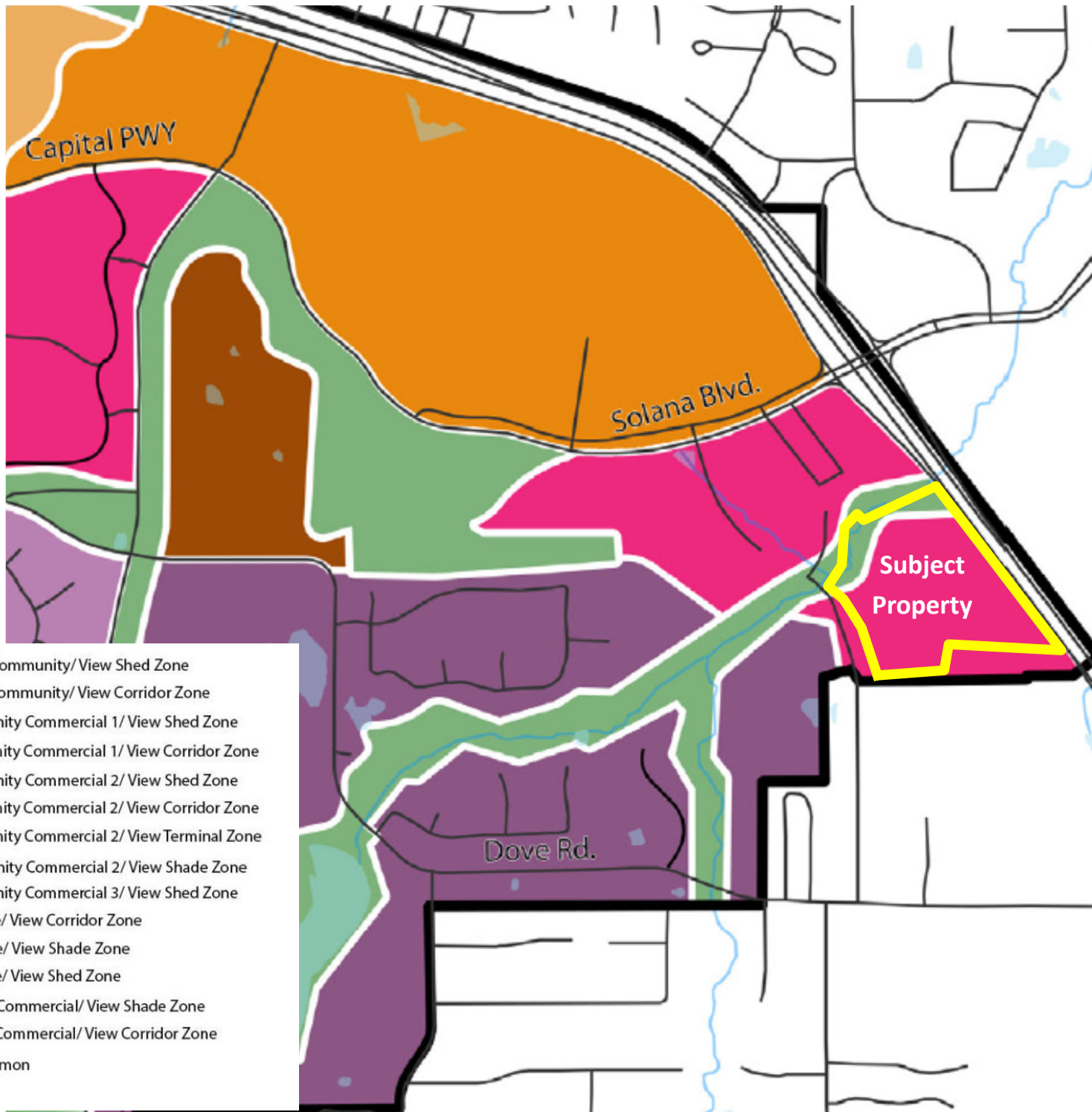
Town of Westlake

City of Southlake

Zoning Map



Future Land Use Map





District Type: Community Commercial 2 (CC2)

Character Statement: The Community Commercial 2 District generally lies between the Community Commercial 1 Districts and the Pastoral Community Districts. Therefore, the Community Commercial 2 District is meant to be a land use density transition from highway fronting commercial use to landscape dominated residential use. Therefore, building height and the amount of open land surrounding commercial uses in this area is important. Commercial development of the Community Commercial 2 District is meant to be more “office campus”-like development, wherein the corporate addresses are essentially corporate estates sitting on large landscaped sites in a manner similar to the Pastoral Community residential patterns. FAR’s in this district will be lower than the .4 to .45:1 embedded in most Planned Development ordinances. FAR’s should be similar to levels of development seen at Fidelity Investments. However, that small segment of the Community

Commercial 2 District located in a View Shade Zone can tolerate development that somewhat exceeds currently permitted levels. Further, another portion of the Community Commercial 2 District is located in the high ground of a view terminal. In this case, efforts should be taken to preserve the landform by exporting development density to another Land Use District as identified in the Land Use Plan (CC-1, TC-1 TC-2, or RC). Detention facilities as required for commercial development should be retention ponds located so as to be in the public view. A larger percentage of site open space, building heights not exceeding four stories, natural and drifted landscape, and retention ponds visible to the public view are characteristics of the Community Commercial 2 District. This District is a building height and coverage sending zone. It is encouraged that exportation of building square footage be for the purpose of supporting low FAR’s, more open space or conversion from commercial to transitional residential use (as per the Housing Plan to follow) in areas that abut existing residential zoning.

LOVETT

Since 1980

LOVETT
HOMES

LOVETT
COMMERCIAL

INTOWN
HOMES

LOVETT
INDUSTRIAL

LOVETT
RESIDENTIAL

Awards and Recognition

- Sole two-time ULI Winner
 - Capitol Oaks – ULI First Place Winner (2011)
 - Sawyer Yards – ULI First Place Winner (2018)
- B&B Butchers – Good Brick Award (2016)
- Sawyer Yards –Urban Land Institute (ULI) Americas Awards For Excellence Winner (2021)
- POST – HBJ Landmark Award: Rehabilitation & Renovation (2022)
- POST & Printhouse – Preservation Houston: Good Brick Award (2022)





Design Narrative

Lovett is proposing a zoning change to accommodate a new Planned Development of single-family homes on approximately 33 acres. Located directly south of the Plaza at Solana, the new Planned Development will maintain the values and priorities of the Town of Westlake through:

- high quality architecture and urban planning
 - principals of New Urbanism
 - walkability and connection to nature
- consistent attention to detail through Development Architect review
- creating a “sense of place” with distinctive design
- understanding the Comprehensive Plan and Building Quality Manual

INTRODUCTION: Preliminary Design Process

“an environment designed around the true needs of individuals, conducive to the formation of community and preservation of the landscape”

-Andres Duany

Andres Duany

“Father of New Urbanism”



- 1971: Received undergraduate degree in Architecture and Urban Planning from Princeton University
- 1974: Graduated with Masters from Yale School of Architecture
- 1977: Co-founded the Miami firm Arquitectonica with wife Elizabeth
- 1980: Started Duany Plater-Zyberk & Company

Andres is an Architect and Urban Planner who pioneered a vision for sustainable urban development and implementation for over three decades.

- Founder of the Congress for the New Urbanism
- Pioneered Developed SmartCode – a form-based zoning code, adopted by numerous municipalities.

Rosemary Beach, Florida

- Neo-traditional community located on the East End of Scenic Highway 30A
- 107 acres – private homes including gulf front real estate and public spaces
- Pedestrian lanes, footpaths, and boardwalks interconnect neighborhoods
- Homes listed from \$3.6M – \$8.7M
- Average 3,000 SF lots



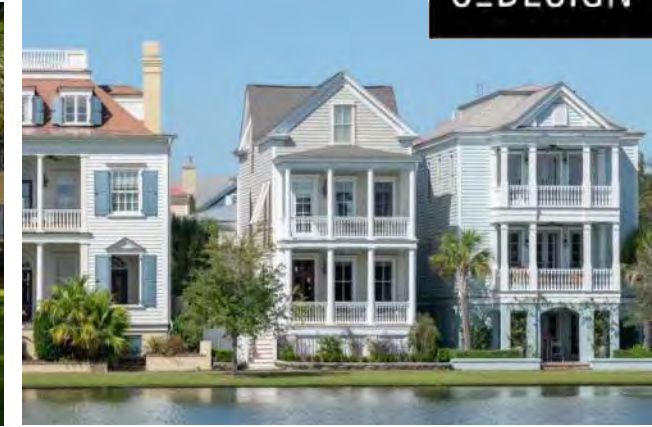
Seaside, Florida

- One of the first Master Planned Communities developed in the US
- New Urbanism architecture in the heart of 30A
- 80 acres – ½ mile of beach frontage homes
- Walkable downtown – a standard for live, work, play lifestyle integration
- Homes listed from \$3.3M – \$12.8M



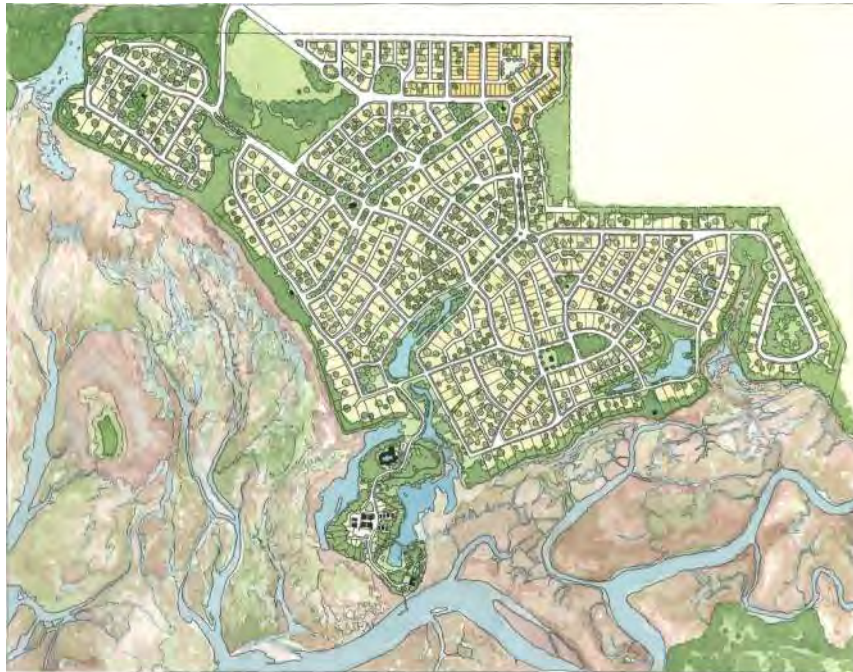
I'On, South Carolina

- Stately architecture with Southern tradition and low country style
- 243 acres of land with homes surrounding a village square
- Natural amenities include a wildlife refuge, 6 miles of walking trails, an outdoor amphitheater, 2 lakes, and 12 pocket parks



Habersham, South Carolina

- Single family, condos, market lofts with commercial storefronts, and townhomes
- 300-acre development with waterfront park spaces
- Sunset tower, river retreat pavilion, and deep-water dock are all connected by nature trails



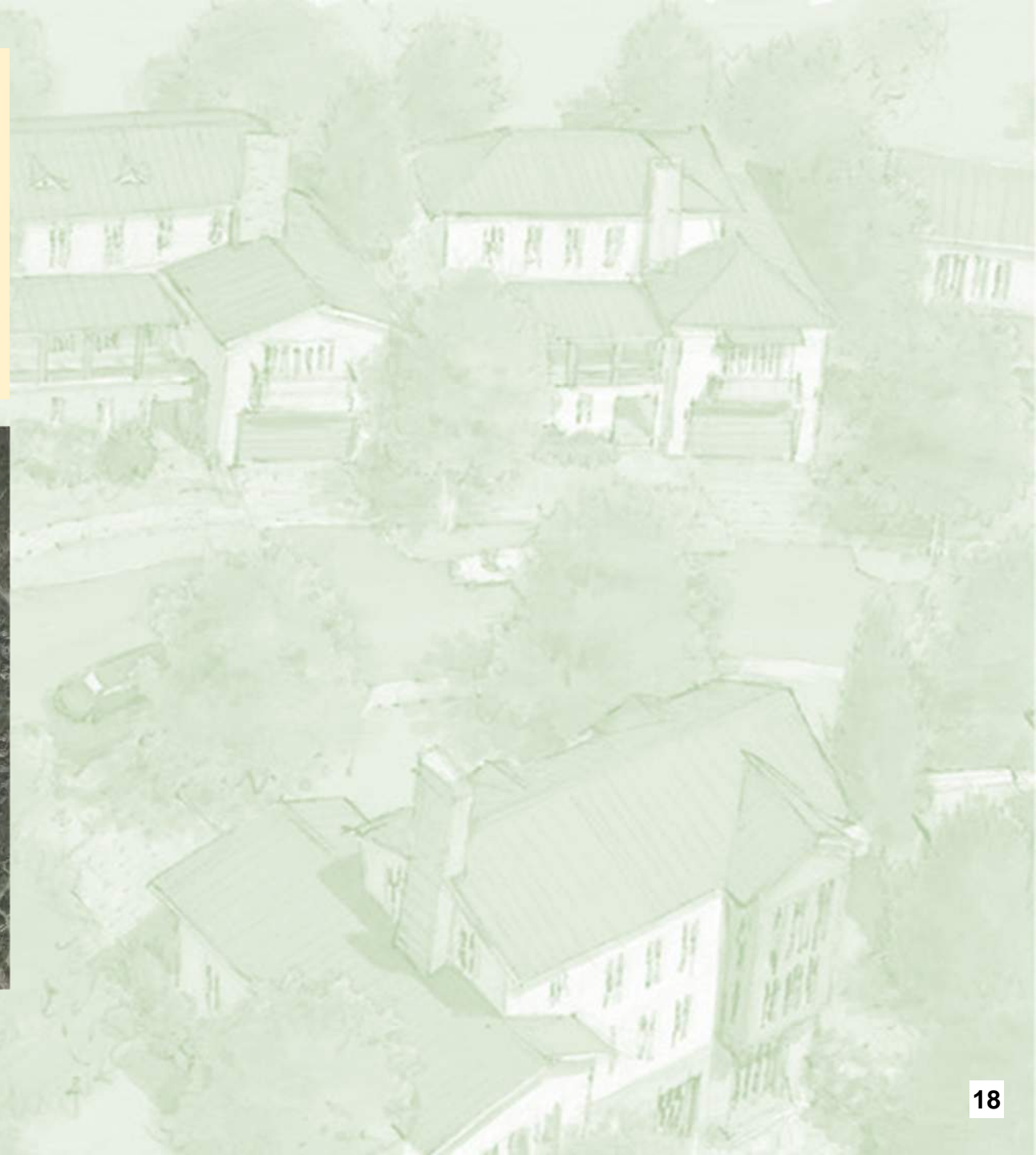
Alys Beach, Florida

- Homes listed up to \$14.3M
- Average lot = 3,000 SF



Westlake Site Challenges

1. Topography / Grading
2. Gas Well Flat Pad
3. Natural Features – Kirkwood Branch
4. “Community Identity” across different site conditions



1. Topography / Grading

This site presents an opportunity to showcase Westlake's geographic diversity by featuring the dramatic changes between Waterways, Bottom Lands, and Slopes Over 5%. The site has approximately 75' of elevation change.

"A key component of the pastoral beauty of Westlake is the number of rising land promontories supported by steeper slopes. These steeper slopes are sensitive to grading and expensive for development. The steep slope settings are the landmark land forms that give Westlake its distinctive character."

-Westlake Comprehensive Plan Update p. 66

Our topographic study naturally resulted in a street loop with 2 basic development zones to minimize the amount of sitework and grading:

1. larger sloped lots with detached homes
2. denser flat lots located on the former Gas Well site



2. Gas Well Flat Pad

An abandoned gas well site exists near the peak of the landmark promontory. This flat pad has no existing trees, so it is well-suited to smaller lots with denser housing types like detached and attached townhomes. This pad more closely resembles the “Uplands” geographical classification, and is therefore compatible with greater development density and coverage as outlined in the Comprehensive Plan.

*“Uplands: **Low sensitivity to development.** Flatter grade conditions in this area make them less sensitive to the impacts of coverage. Coverage in upland areas will have less impact than other areas. The flatter land profile can accommodate coverage.”*

-Westlake Comprehensive Plan Update p. 72



4. Community Identity

Key methods to create a sense of place and community identity include:

- Consistent material palette
- Human scale and proportion
- Walkability and connection to the surrounding context
- Timeless design and durable construction
- Natural integration with landscape features



SECTION 1:

Development Overview

Proposed Uses

1. Single Family Detached Homes
2. Single Family Attached Homes (Townhomes)
3. Private Streets
4. Private Recreational Areas
5. Publicly Accessible Recreational Areas
6. HOA-Operated Amenities
7. Drainage Facilities
8. Pedestrian Trail Network
9. Pedestrian Bridge Connection to The Plaza at Solana

Site Plan

96 Homes (9,468 SF avg. lot size)
25.6% Open Space

1. Entry
2. Entry Plaza w/ Guest Parking
3. Community Amenity Space
4. Picnic Park
5. Central Green
6. Pedestrian Greenways
7. Trail System
8. Kirkwood Branch Natural Area
9. Bridge Connection to Solana

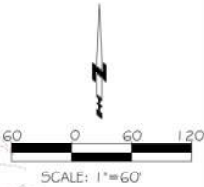


WESTLAKE

03.13.2023

TYPE A	PAIRED LOTS 32'	16
	(AVERAGE LOT SIZE : 5,600 SF)	
TYPE B	DETACHED LOTS 26'/35'/42' X 85'	18
	(AVERAGE LOT SIZE : 3,481 SF)	
TYPE C	LARGE LOTS	10
	(AVERAGE LOT SIZE : 11,023 SF)	
TYPE D	ESTATE LOTS	30
	(AVERAGE LOT SIZE : 20,336 SF)	
TYPE E	ATTACHED LOTS 22'x75' TOWNHOUSES	16
	(AVERAGE LOT SIZE : 1,734 SF)	
TYPE F	ATTACHED LOTS 22'x55' TOWNHOUSES	6
	(AVERAGE LOT SIZE : 1,436 SF)	
TOTAL HOME SITES		96
(AVERAGE LOT SIZE : 9,468 SF)		

OPEN SPACE : 25.6%



SECTION 2:

Residential Design Standards

Community Design and Quality Standards

-All homes are subject to review by the Development Architect to maintain the highest level of quality and design consistency throughout the development.

(Ludwig Fontalvo-Abello was an architect and planner for the Rosemary Beach masterplanned community)

-Lots are categorized into one of 5 distinct types, with corresponding home types

-Guidelines are set forth for each type to determine size, setbacks, relation to streets, massing, height, and architectural character

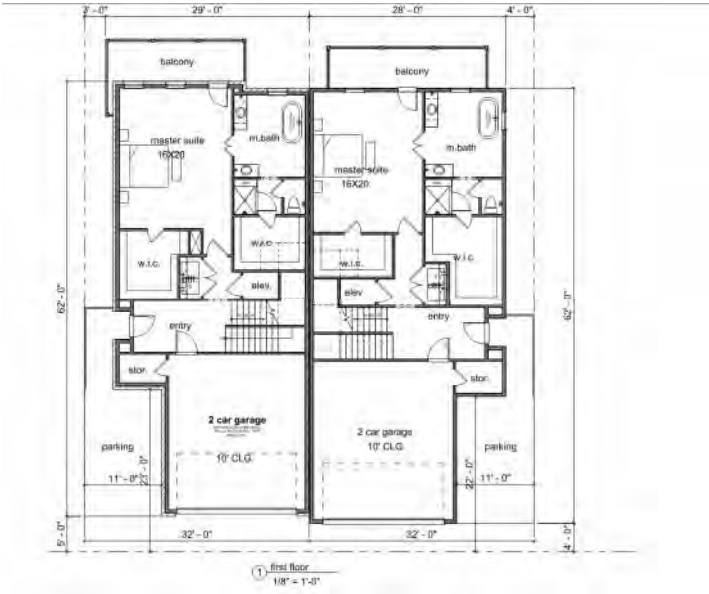
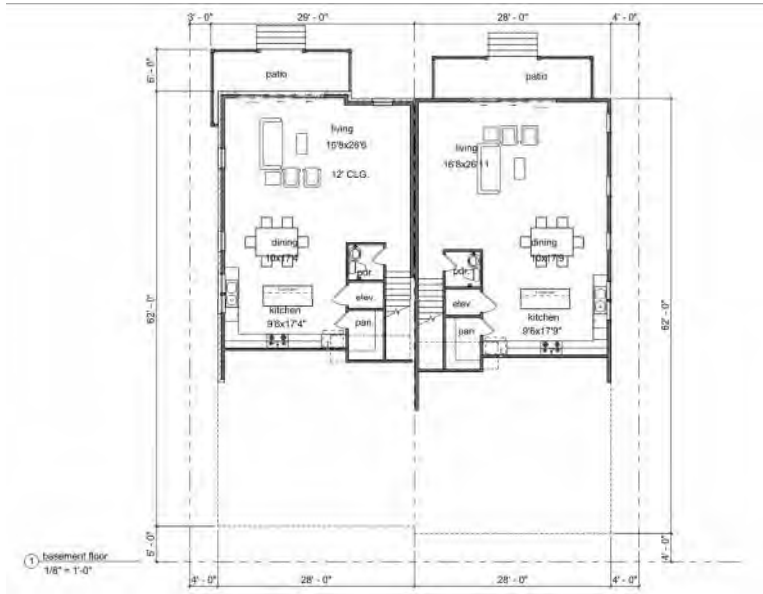
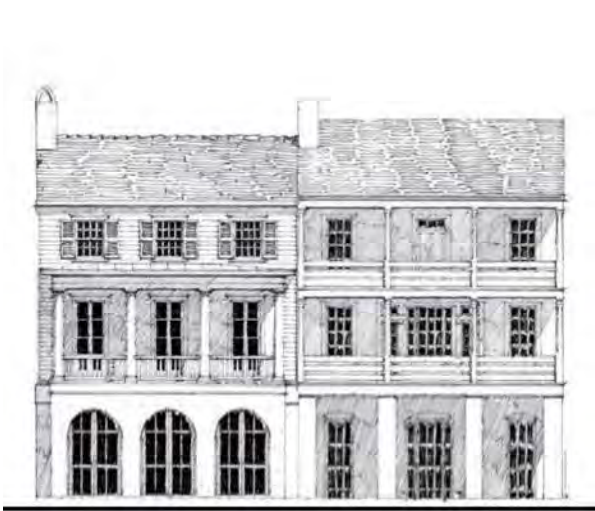
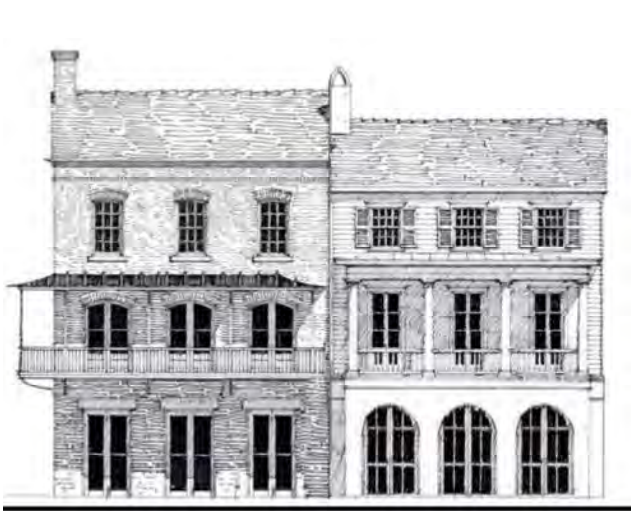
Section 3: Residential Construction Quality Standards

This section sets forth the desired standards that should be implemented when designing a residential structure in Westlake. These standards are intended to:

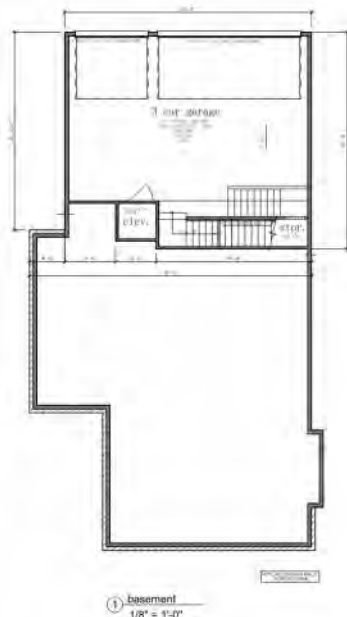
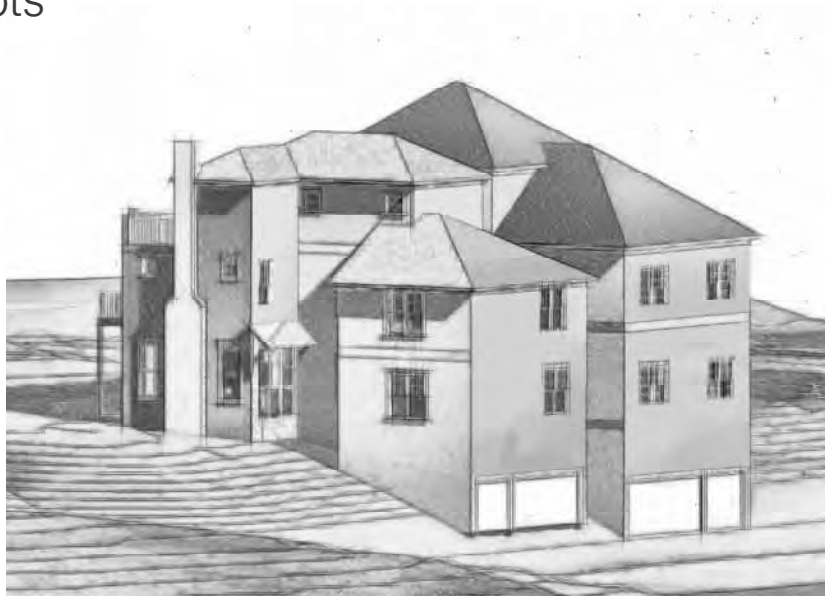
- Establish uniformity in the enduring quality of Westlake's residential building stock;
- Preserve the general character of Westlake's residential fabric;
- Promote a consistent attention to detail;
- Yield a distinctive visual character wherein the particular dimensionality, relief, and/or visual texture that results from quality construction methods is apparent.

TYPE A – Paired Lots – Attached Townhomes

32' Wide



TYPE B – Detached Patio Homes Small Lots



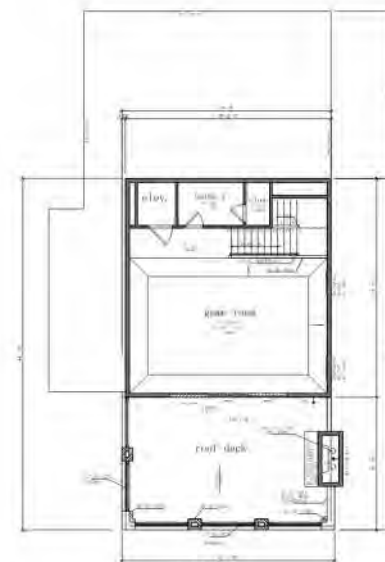
① basement
1/8" = 1'-0"



② first floor
1/8" = 1'-0"



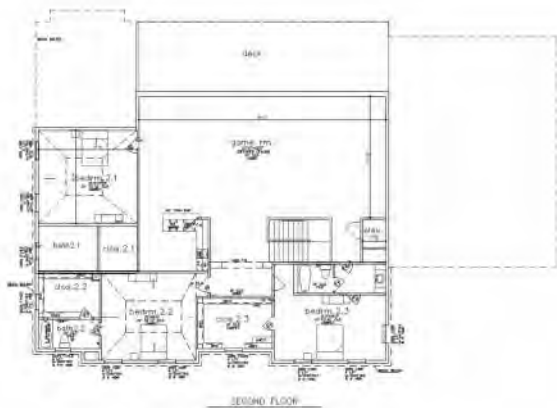
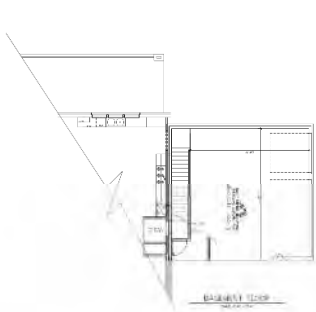
① second floor
1/8" = 1'-0"



② third floor
1/8" = 1'-0"

NOTE: ALL DESIGNS ARE FOR CONCEPT PURPOSES ONLY. FINAL RESULTS MAY VARY

TYPE C&D – Detached Homes
Large and Medium Lots



TYPE C&D – Detached Homes

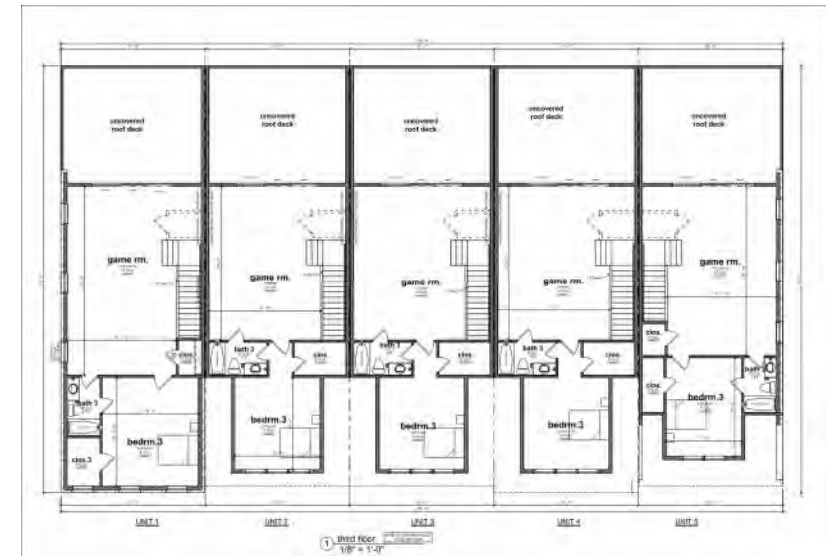
Large and Medium Lots



NOTE: ALL DESIGNS ARE FOR CONCEPT PURPOSES ONLY. FINAL RESULTS MAY VARY

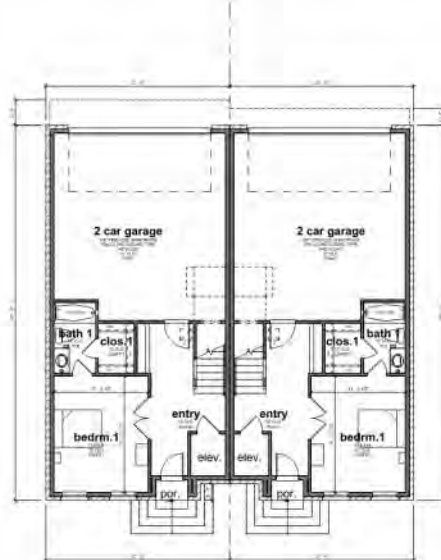
TYPE E – Attached Townhouses

22'x75'

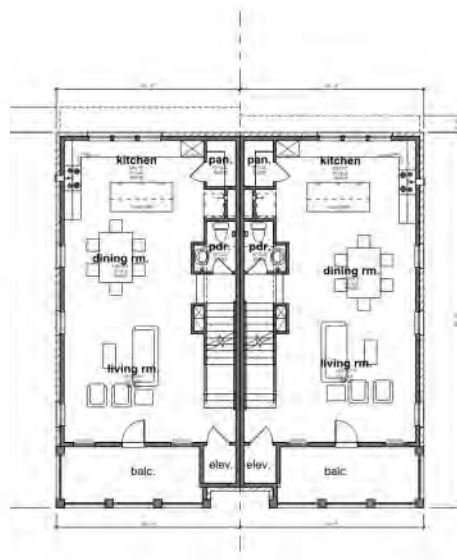


NOTE: ALL DESIGNS ARE FOR CONCEPT PURPOSES ONLY. FINAL RESULTS MAY VARY

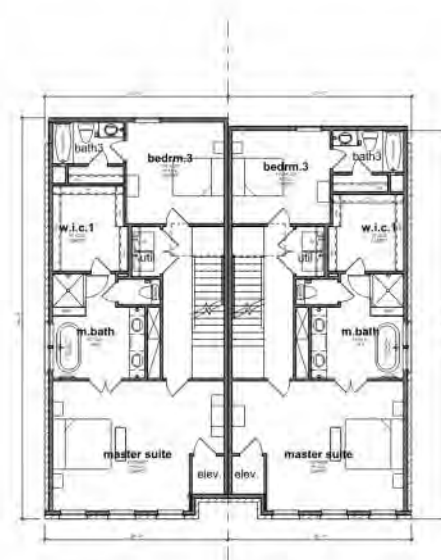
TYPE F – Attached Townhouses



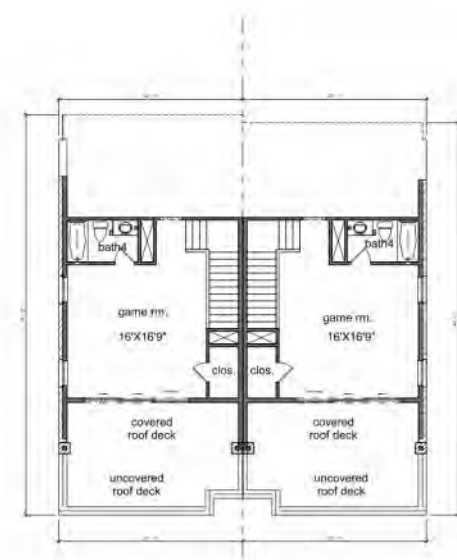
1 first floor
1/8" = 1'-0"



1 second floor
1/8" = 1'-0"



1 third floor
1/8" = 1'-0"



1 roof terrace
1/8" = 1'-0"

NOTE: ALL DESIGNS ARE FOR CONCEPT PURPOSES ONLY. FINAL RESULTS MAY VARY

SECTION 3:

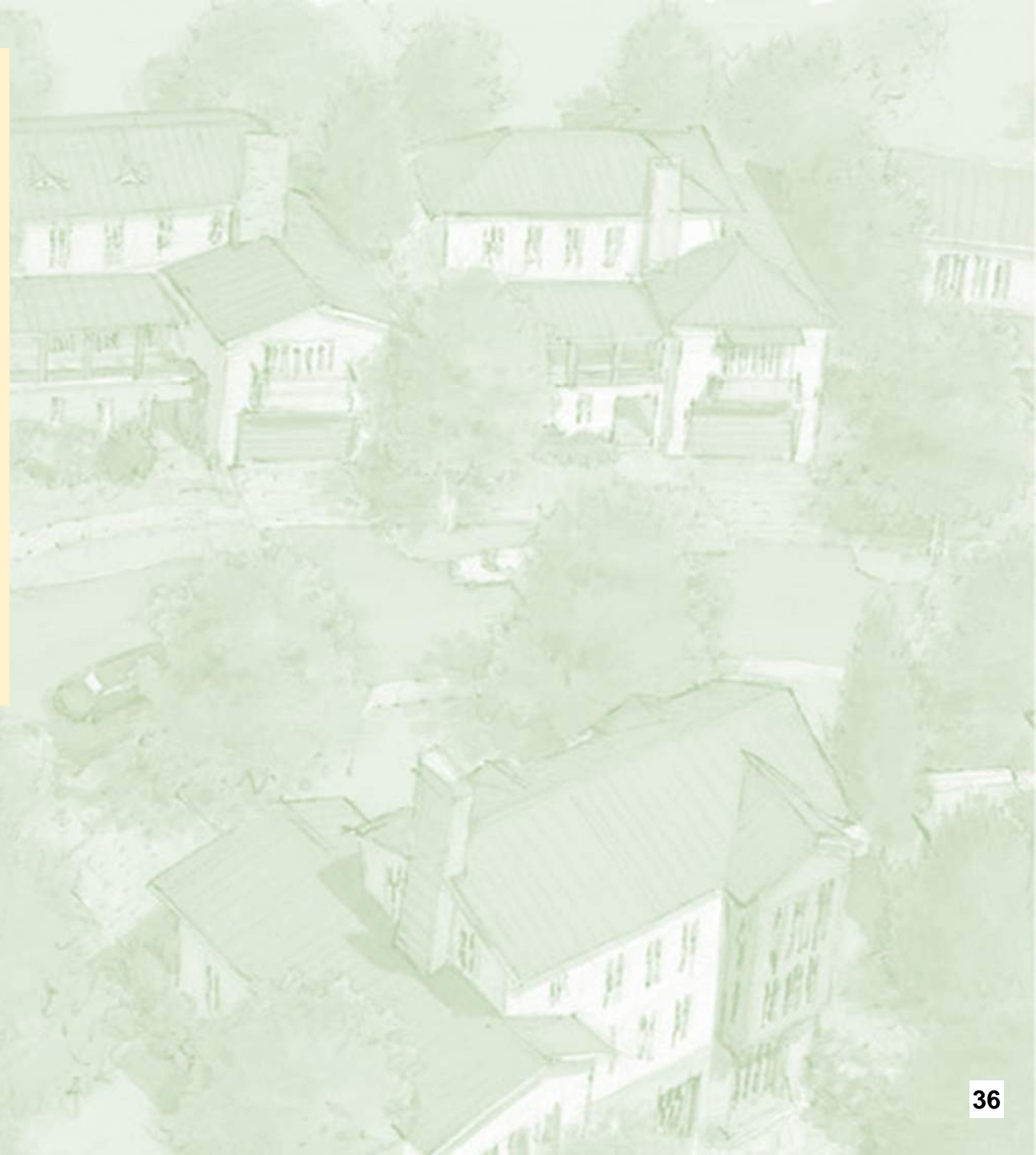
Landscaping, Open Space, and Natural Areas

“Historically...development has been contextualized to fit within the natural landscape...Contextualization, which grows from a commitment to landscape integrity, is what has helped to preserve the property values sustained in Westlake.”

-Comprehensive Plan Update p. 74

Elements of Landscape and Common Areas

1. General Landscape Design Intent
2. Neighborhood Identity Signage
3. Entry Court with Guest Parking
4. Community Amenity Space
5. Picnic Park
6. Central Green
7. Internal Pedestrian Network
8. Drainage
9. Kirkwood Branch
10. Trail Network (Town of Westlake)
11. Connection to Solana



1. General Landscape Design Intent

The site is located in the Eastern Cross Timbers Ecoregion. In keeping with the BQM and Comprehensive Plan, the landscape design will strive to restore the natural mosaic of the region by prioritizing native planting and naturalistic grouping of plants.

“Westlake is characterized by its complex and varied landscape. Therefore, the design of any building in Westlake should make every effort to accommodate the character, profile, and natural mosaic of the indigenous landscape.”

-Building Quality Manual p. 6

“Any...PD Development Plan... should make effort to restore natural features, natural systems, natural pattern, and/or natural mosaic.”

-Building Quality Manual p. 14

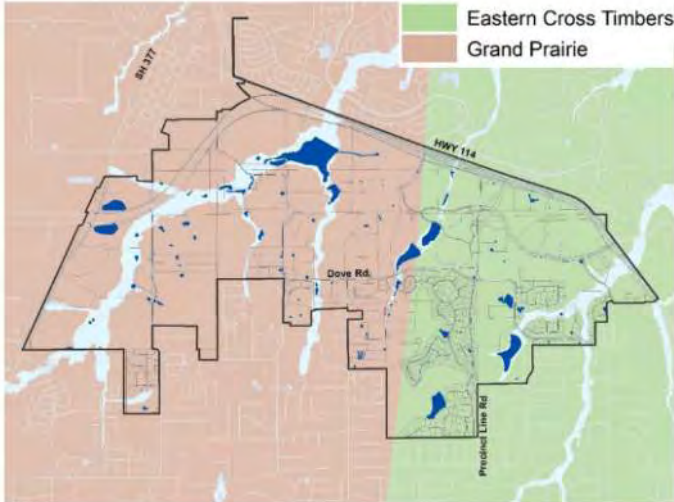


Figure 62: The Ecoregions of Westlake



2. Neighborhood Identity Signage / Controlled Access

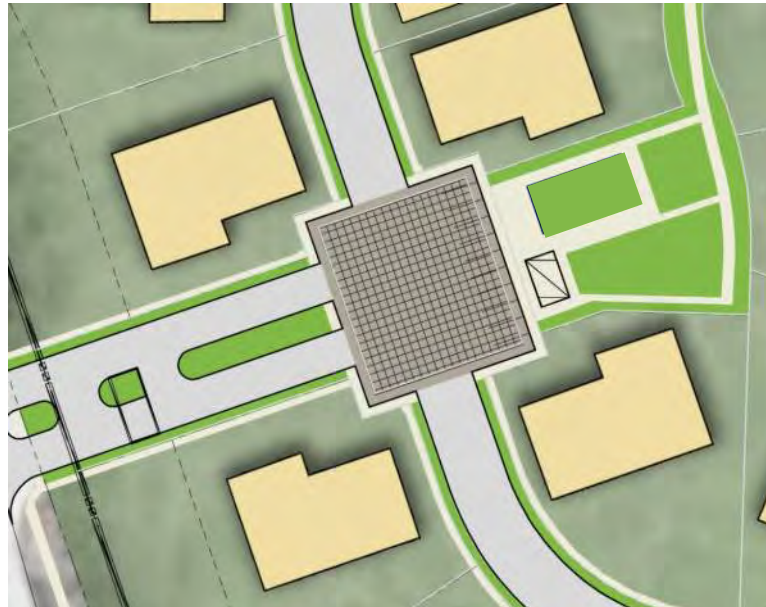
Entry to the site will be marked by a neighborhood identity sign and a vehicular access gate. Signage and gate infrastructure will be designed in keeping with the overall aesthetic of the community and integrate into the landscape. Depending on homeowner feedback, a guardhouse may be included.



3. Entry Court with Guest Parking

4. Community Amenity Space

Residents and their guests will enjoy access to shared amenities and open space. A limited amount of dedicated guest parking will be provided in a central plaza location.



5. Picnic Park

This community green space will take advantage of the natural landscape and slope to provide a casual gathering place for residents.



6. Central Green

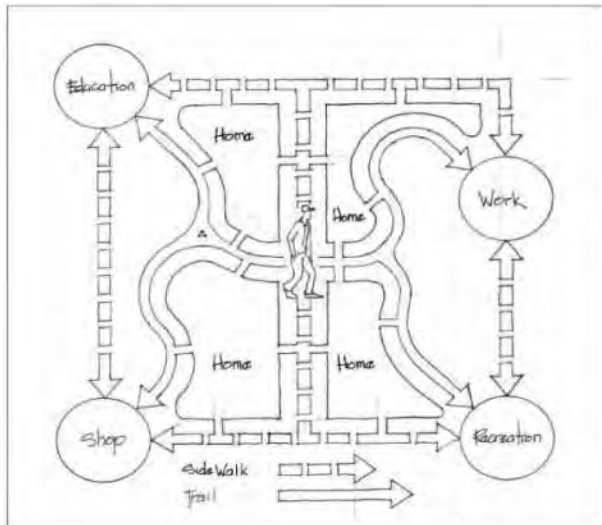
A more formalized greenspace will function as a grand lawn that can be used for larger resident events or everyday recreation.



7. Internal Pedestrian Network

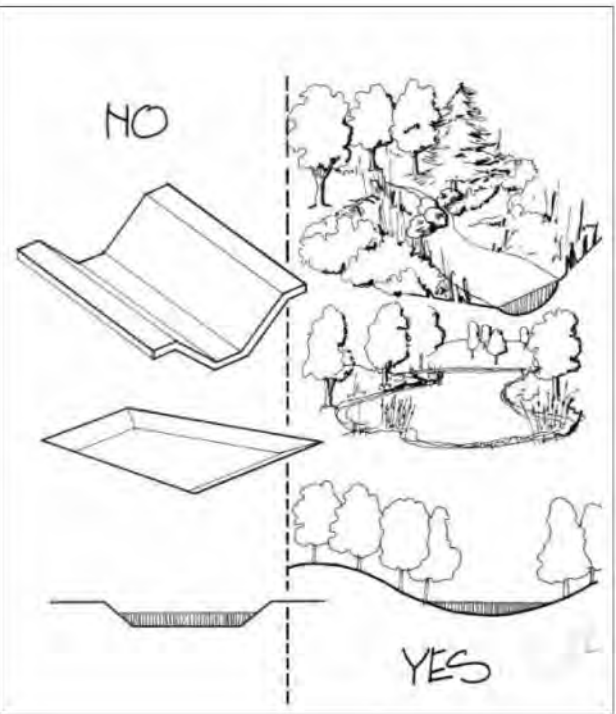
- Complete pedestrian pathways coming to the subject property that can be completed within or across the subject property
- Provide connection from points of pedestrian origin with the subject to pedestrian facilities and trails serving the subject property
- Anticipate the emergence of pedestrian pathways that can be extended by future development in close proximity to the subject property and provide the opportunity for such pathway."

-Building Quality Manual p. 15



8. Drainage

- Minimize structured means of water management
 - Maintain natural land shapes and forms in the creation of detention / retention facilities and created drainage ways
 - Restore and extend the natural fabric
 - Respect natural systems that flourish within natural systems”
- Building Quality Manual p. 18



18



9. Kirkwood Branch

The natural waterway and flood zone will be a defining feature of the development, as well as providing a connection to The Plaza at Solana to the north.

Natural Preserve / Landmark Landforms: Areas of relatively undisturbed landscape (sometimes a restored landscape) for the purpose of maintaining the presence and health of natural systems (such as water flow), tree and other vegetative communities, and ecotone diversity. Meant more to be viewed than used, limited public use promotes environmental understanding and contemplative connection with the native landscape of Westlake without over burdening the natural mosaic with active use. These areas should include landmark landforms distinctive of Westlake and termini of the vistas that residents enjoy.

-Comprehensive Plan p. 189



10. Trail Network (Town of Westlake)



11. Connection to Solana

Explore how to partner with the Town and The Plaza at Solana

- benefit to retail establishments

- benefit to Hotel with direct connection to trails and natural area



Thank You!



Town of Westlake

1500 Solana Blvd
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Westlake, TX 76262

Staff Report

File #: 23-93

Agenda Date: 3/21/2023

Agenda #: A.2.

TOWN STAFF REPORT RECCOMENDATIONS

Discussion and presentation regarding the Town's Comprehensive Plan and potential future updates to the plan

STAFF: Ron Ruthven, Director of Development and Planning

BACKGROUND:

The purpose of this item is to provide an overview of the Town's current comprehensive plan, adopted in 2015, including its purpose, history and recommendations. Potential updates to the plan moving forward will also be discussed. Staff will provide a presentation at the meeting.

Helpful links to the current comprehensive plan can be found on the Town's web page at:

<https://www.westlake-tx.org/140/Comprehensive-Plan>. Also, attached is a summary of goals and objectives from the 2015 comprehensive plan.

Based on discussion and feedback received, staff may bring forward additional information including, but not limited to, a potential scope of work and schedule for updating the comprehensive plan at a future meeting.

ATTACHMENTS:

1. 2015 Comprehensive Plan - Summary of Goals and Objectives

Forging Westlake: Comprehensive Plan Adopted March 2, 2015

Summary of Goals and Objectives

Goal A: Future views from residential areas should present qualities of vista, natural-ness, pastoral/ agricultural character, and sense of openness that exist today.

OBJECTIVES:

- A1. Maintain views of a largely undeveloped foreground as Westlake grows.
- A2. Maintain views of agricultural land and agricultural activities as Westlake grows.
- A3. Maintain distant vistas from higher elevations.
- A4. Maintain views of natural topography.
- A5. Maintain view sheds that contain essential elements of Westlake's pastoral character.

Goal B: Future development should perpetuate picturesque and pastoral qualities that promote a visual identity associated with rural-ness.

OBJECTIVES:

- B1. Create development standards defining features of development that promote and preserve the picturesque and pastoral qualities of Westlake and reinforce the notion of a "pastoral community".
- B2. Promote a rural character in present open spaces and future open space expansion.
- B3. Promote aspects of rural heritage in future development.

Goal C: Future development should embody recognizable quality of building and site design as well as maintain an overall balance and continuity between commercial and residential portions of the Town.

OBJECTIVES:

- C1. Promote a visual character that communicates a high quality of building and landscape construction, both public and private.
- C2. Encourage development patterns in the western portions of Westlake that preserve landmark characteristics of this landscape and embody visual qualities that continue rural characteristics.
- C3. Promote design excellence in land and landscape development, both public and private.
- C4. Preserve the sense of balance between residential and commercial development by promoting continuity of development forms, pallet of landscaping, meaningful/ functional buffers, built area to land area ratios, and character of the street experience.
- C5. Maintain a continuity between the character of future smaller lot development and the dominant larger lot developments of Westlake by a consistency in landscape, design quality, and general visual character of development as seen from the street (internally and externally).
- C6. Promote non-residential/ office development that hosts a significant ground plane of pedestrian features and visual amenities, instead of parking and service, and that

ground planes of neighboring projects flow together to create a more campus-like setting overall.

- C7. Maintain trajectory of small residential population at build-out in order to promote a small town sense of community.
- C8. Establish development standards that discourage the direct visual connection or orthogonal orientation between roadways and structure that is typical of most suburban development.
- C9. Establish development guidelines that discourage typical strip-like, suburban commercial development.
- C10. Promote a continued use of natural forms in, and non-structured means of, storm water management and detention facility design.
- C11. Promote the continued creation of environmental, cultural, educational, and visual assets for Westlake in all private and public development.
- C12. Promote the aggregate and singular identity of multiple private projects, especially in the commercial areas of Westlake, so that the Town attains a coherent overall identity rather than multiple autonomous identities.
- C13. Promote a special freeway scape identity for Westlake where it lies on both sides of SH 170 and SH 114.

Goal D: Future Westlake should continue to be a place where one can live a “slow paced” life style in a quiet, rural like setting.

OBJECTIVES:

- D1. Preserve the quiet rural character of Westlake in residential areas and in the public domain.
- D2. Develop strategies that encourage and inspire commercial development to incorporate visual qualities reflective of Westlake’s “rural-like setting”.
- D3. Preserve Westlake’s sense of “slow paced” life as it develops by promoting experiential and visual characteristics associated with the current non- encroachment condition.

Goal E: Future Westlake should contain essential scenic, cultural, and architectural features which are a legacy of its rural heritage.

OBJECTIVES:

- E1. Preserve the rural and agricultural features of cultural significance.
- E2. Preserve natural corridors.
- E3. Preserve sense of openness in the continuity of a ground plane that is not interrupted by opaque fences or walls.
- E4. Preserve the natural land profiles and landmark landforms as well as promote greater open space as Westlake develops through regulation of building to land area relationships.

Goal F: Future Westlake should come together as an overall town form with an identifiable town center, residential areas and employment areas, tied together by streets, trails, and transitional buffers that maximize resident convenience and protect residential areas from commercial encroachment.

OBJECTIVES:

- F1. Create a town center/ hub that is uniquely Westlake; an organic center to the Town and more than a retail development that looks like a town center.
- F2. Create a future relationship between commercial and residential that is rooted in the current pastoral identity of Westlake.
- F3. Maintain Westlake's sense of separation from surrounding typical commercial and residential development.
- F4. Focus the commercial components of Westlake to locations along the SH 114 and SH 170 portions of the community.
- F5. Create meaningful and purposeful buffers between single-family, lower density, residential uses and non- residential development that link activities while protecting the residential areas from encroachment.
- F6. Promote the aggregation of higher density in the SH 170/ SH 114 corridor instead of a uniform density overall, thereby lessening total land coverage.
- F7. Encourage aggregation of current entitlement rights where possible in ways that contribute to a greater amount of undeveloped land.

Goal G: Future development should create a greater level of amenity and residential compatibility for the Town.

OBJECTIVES:

- G1. Encourage less development coverage of land and promote the use of land for enhanced retention and other landscape amenities.
- G2. Establish development standards for more creative regulation of density instead of simply lot size.
- G3. Encourage the predominantly non- residential growth of western portions of Westlake to properly compliment the residential portions of Westlake and preserve/ enhance residential values.

Goal H: Future Westlake should have a coherent trail system (pedestrian and bike trails) that links residential areas to important destinations within the Town.

OBJECTIVES:

- H1. Make pedestrian movement from neighborhoods to desired destinations within Westlake more conveniently accessible, easily identifiable, and safer (i.e. eliminate pedestrian conflicts with barbed wire).
- H2. Encourage the use of city sidewalks and trails by children as a means of going to school by enhancing safety, convenience, and educational potential.
- H3. Implement grade separated street crossings for trails where feasible.
- H4. Make the commercial areas of Westlake accessible to patrons without encroaching upon residential neighborhoods or bisecting development properties.

Goal I: Future Westlake should have a functional roadway network that protects property values and rural character by providing additional road capacity where needed to prevent the encroachment of commercial traffic into residential areas and keeps commercial circulation north of residential areas.

OBJECTIVES:

11. Discourage cut-through traffic on local and residential roadways, including the provision of a roadway system that accesses residential and non-residential areas of Westlake from perimeter roadways that prevent the need for cross town vehicular movement.
12. Encourage traffic movement around Westlake more than through Westlake.
13. Relieve the growing traffic pressure on Dove Road while preserving the rural image of Dove Road.
14. Mitigate the negative impact of high traffic volumes on residential property values.
15. Mitigate the negative impact of high traffic volumes on the rural character of local roadways.
16. Provide additional circulation capacity that protects local residential roadways from traffic inundation.
17. Create a thoroughfare system built upon a road typology that recognizes the need for different street classifications that include high and low traffic volume capacity as well as roadways with a more rural character.
18. Minimize the encroachment of commercial traffic onto residential roadways and/or through residential areas by such measures as implementing traffic calming techniques (such as roundabouts) to discourage traffic encroachment and enhance pedestrian safety.
19. Manage traffic to prevent traffic congestion through the use of traffic calming measures, where appropriate, and by intersection capacity improvements to enhance the level of service at key intersection locations.
110. Relieve potential traffic congestion zones through the provision of user funded lane capacity where feasible.
111. Anticipate future vehicular circulation needs and take measures to secure right-of-way availability.
112. Separate vehicular and bike/ pedestrian movement spatially and/ or functionally in order to facilitate efficient vehicular traffic flow and enhance bike/ pedestrian safety and user experience.
113. Preserve and promote the convenient access to major roadways and destinations for the residents of Westlake, including SH 170 and SH 114.

Goal J: Future Westlake should reduce vehicular trips and promote pedestrian safety/ convenience through the provision of trails, sidewalks, and public transit.

OBJECTIVES:

- J1. Promote sidewalks along the perimeter of all residential development and assure connections to non-residential development without bisecting development parcels.
- J2. Promote a complete system of bike and pedestrian trails that connects places where people live to places people want to go within Westlake.
- J3. Provide public transportation for residents and local patrons/ employees that work and or/shop in Westlake (when feasible based on build-out demand) that moves people within commercial areas, reduces trip generation of commercial areas, and provides better connection between residential areas and Westlake's commercial center.
- J4. Create a workable system of walking and biking trails that links points of trip origin with desired destinations and integrates with regional trail systems.
- J5. Employ existing and future lakes/ water bodies and other natural systems in the overall Westlake trail system.

- J6. Encourage the connection of individually constructed trail facilities as they are built and assure connection to desired destinations within Westlake and tie into regional trails that interface with Westlake's borders.
- J7. Designate truck routes that preserve maximum roadway capacity and protect residential areas from truck encroachment.

Goal K: Future Westlake should have clearly defined residential and commercial areas that reinforce single- family values and neighborhoods as well as distinguished Westlake from other cities and townships in the general region.

OBJECTIVES:

- K1. Promote for-sale housing options over rental housing options where ever possible.
- K2. Discourage the development of distribution facilities in Westlake and maintain a land use differentiation from land development to the west.
- K3. Promote and encourage compatibility between commercial development in Westlake and other commercial centers that contributes to greater economic vigor overall and prevents competition between commercial centers in the region.
- K4. Preserve and promote the single- family character of the Solana area as commercial PD's develop.
- K5. Maximize the opportunity of the strategic importance of the SH 170/ SH 114 intersection to create a center and identity that is uniquely Westlake and enhance the value of Westlake overall.
- K6. Encourage larger lot development contiguous to existing residential areas.
- K7. Promote the creation of natural buffers (landscaped open space) between conflicting land uses.

Goal L: Future Westlake should continue to have an Ad Valorem tax base sufficient to serve future financial needs.

OBJECTIVES:

- L1. Preserve Westlake's distinctively low Ad Valorem tax rate on residential properties.
- L2. Maintain a balance between the Ad Valorem revenues of non-residential and residential development so that property taxes on residential property do not have to be disproportionately raised to accommodate the impacts of future development in and around Westlake.

Goal M: Future Westlake Academy should meet the educational needs of Westlake's future population with continued high quality educational services and facilities.

OBJECTIVE:

- M1. Maintain the Academy's continued availability to the resident children of Westlake as Westlake and the areas around Westlake grow through facility expansion and/ or enrollment policy revisions as appropriate.

Goal N: Future Westlake should be an educational center.

OBJECTIVES:

- N1. Improve and promote Westlake's growing reputation as a community of educational excellence and educational opportunity.
- N2. Expand educational opportunities to additional schools (such as preparatory school) and venues (such as interpretative nature trails) that give Westlake a unique value associated with a strong commitment to educational experiences and opportunities.

Goal O: Future Westlake should transform future detention needs into a system of distinctive water features and amenities for the Town.

OBJECTIVES:

- O1. Encourage the gathering of required detention into major environmental amenities for the Town.
- O2. Maximize the potential of present and future lakes and water courses to enhance the value of residential and non-residential development.
- O3. Centralize detention as much as possible in current lakes/ ponds and other "in-line" water catchment areas in order to encourage larger, more useful, and more recreational water bodies.
- O4. Anticipate the effects of upstream development in Keller and Southlake on the configuration of future flood areas and water flow management systems (including creekways, lakes, and ponds); and secure area for floodway/ water body expansions as they are needed and use such increases to further enhance the open space and recreational assets of Westlake.

Goal P: Future Westlake should have sufficient infrastructure and emergency services to assure the continued health and safety of the Town's full-time and day-time populations.

OBJECTIVES:

- P1. Create or expand a city sewer system that relieves the predominance of septic systems as Westlake grows.
- P2. Provide adequate fire service to accommodate both residential and non-residential demand for such services, meet the requirements of insurers, and prevent future loss of life or significant property damage to other properties.
- P3. Provide adequate police service to accommodate both residential and non-residential demand for such services, meet the requirements of insurers, and prevent future loss of life or significant property loss.
- P4. Form public/ private partnerships to facilitate private assistance with the cost of improved emergency services.

Goal Q: Future Westlake should be a model of water conservation and environmental preservation for the area.

OBJECTIVES:

- Q1. Promote water conservation and reduce water usage.
- Q2. Preserve existing creek ways and creek areas associated with them through creation of preserves/parks and/ or development standards that promote responsive, low-impact development practices.

- Q3. Initiate natural and system supported measures to reclaim and reuse water where appropriate.
- Q4. Preserve significant native trees and tree communities, especially within riparian areas.
- Q5. Use existing and future lakes as facilities for water conservation and waterways serving them as places of natural conservancy.

Goal R: Future Westlake should be a town offering its residents distinctive recreation and park opportunities.

OBJECTIVES:

- R1. Provide park and recreation opportunities that serve the needs of Westlake's present and future population, such as dog parks, playgrounds, and public golf course.
- R2. Provide recreational opportunities that are more undeveloped passive open spaces that serve less intense and contemplative activities, such as Arboretum or natural preserve.



Town of Westlake

1500 Solana Blvd
Building 7, Suite 7100
Westlake, TX 76262

Staff Report

File #: 23-95

Agenda Date: 3/21/2023

Agenda #: E.1.

TOWN STAFF REPORT RECCOMENDATIONS

Conduct a public hearing and consider a recommendation approving proposed amendments to Ordinance 693, approving the zoning and concept plan for the PD1-3 zoning district (Granada), in order to allow for the construction of a guard house at the main entry gate into the development.

STAFF: Ron Ruthven, Director of Development and Planning

Executive Summary (Including Applicable Organizational History)

The Granada Homeowner's Association (HOA) is requesting an amendment to the Granada concept plan in order to allow for the construction of a guard house at the main entrance into the development on Granada Trail approximately 400 south of the intersection with Solana Boulevard and Cortes Drive. The guard house would be 304 square feet in size and be staffed with security personnel.

Existing Conditions and Zoning

The Granada development is currently gated with private streets, which are maintained by the HOA. The development is currently served by three entrances: (1) the main entrance on Granada Trail, (2) an emergency access only entrance on Dove Road, and (3) a temporary construction entrance on Solana Boulevard. The main gate on Granada Trail currently operates automatically using a remote-control system. Only 5% of the total residential lots in the Granada development remain vacant and, therefore, the temporary construction entrance, which was approved administratively, must be closed by the end of 2023 barring further amendment to the zoning and concept plan.

The Granada development was approved by Ordinance 693 <<https://weblink.westlake-tx.org/WebLink/DocView.aspx?id=5040&dbid=0&repo=WESTLAKE>> in 2013. Exhibit 2, of Ordinance 693 includes the approved concept plan for the development. A guard house was not proposed by the developer of Granada at the time the zoning was approved and was, therefore, not shown on the concept plan. However, any change to the concept plan requires an amendment to Ordinance 693.

Proposal Details

According to the attached letter provided by the applicant, they are requesting to *"allow for the addition of a manned guard house for the Granada development. The site is approximately 1.5 acres in the median along Granada Trail, north of Solana Blvd. As part of the Granada Development, there is an existing median located along Granada Trail that we are intending to alter to construct a guard shack and the associated parking spots. There will be two entry armed gates to allow for emergency bypass as well as a refuse turn around located before the guard shack. One ADA and one standard parking space will be added to allow the shack to be manned at all times."*

The guard house will be composed of masonry material and the attached designs have been approved by the Granada Architectural Control Committee (ACC). Landscaping will be added to the entry area around the guard house per the attached landscape plans. Granada Trail is private beginning at Solana Boulevard and the proposed guard house and improvements will be located completely on HOA property and maintained by the HOA.

Summary and Recommendation

The proposed guard house requires an amendment to the Granada concept plan. The guard house design has been approved by the Granada ACC and has been reviewed by the Town development review committee for compliance with applicable Town ordinances. Based on these conditions, staff recommends approval of the concept plan amendment as proposed.

Attachments

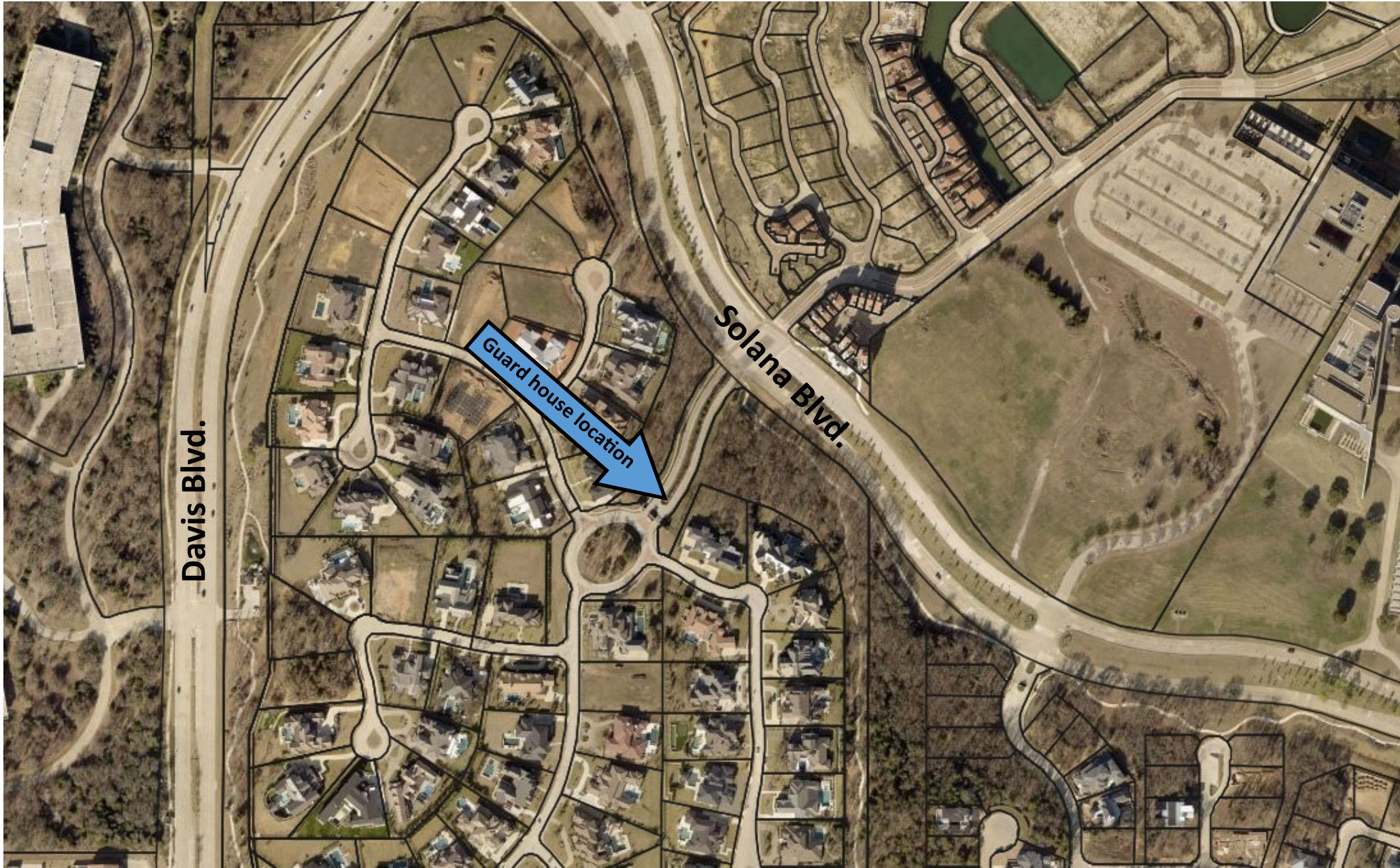
1. Location Map
2. Approved Granada Concept Plan
3. Applicant's Narrative

4. Proposed Guard House Plans and Designs

Planning and Zoning Commission Options:

1. Motion to recommend approval
2. Motion to recommend an amendment with the following stipulations (please state stipulations in motion)
3. Motion to table
4. Motion to recommend denial

Location Map





November 29, 2022

Town of Westlake
1500 Solana Blvd
Building 7, Ste 7200
Westlake, TX 76262

**RE: GRANADA GUARD HOUSE
MCADAMS JOB NUMBER SPEC22347
MEDIAN OF GRANADA TRAIL NORTH OF SOLOANA BLVD, WESTLAKE TX**

Please accept this letter, on behalf of Granada HOA, as an explanation of the proposed application. We are submitting a Zoning Application requesting an amendment to the planned development to allow for the addition of a manned guard house for the Granada development. The site is approximately 1.5 acres in the median along Granada Trail, north of Solana Blvd.

As part of the Granada Development, there is an existing median located along Granada Trail that we are intending to alter to construct a guard shack and the associated parking spots.

There will be two entry armed gates to allow for emergency bypass as well as a refuse turn around located before the guard shack. One ADA and one standard parking spaces will be added to allow the shack to be manned at all times.

Thank you for your consideration of the presented application. We look forward to working with the Town of Westlake on this project. Please feel free to contact us to discuss any comments or questions you have during the review of the is request.

Respectfully,

MCADAMS

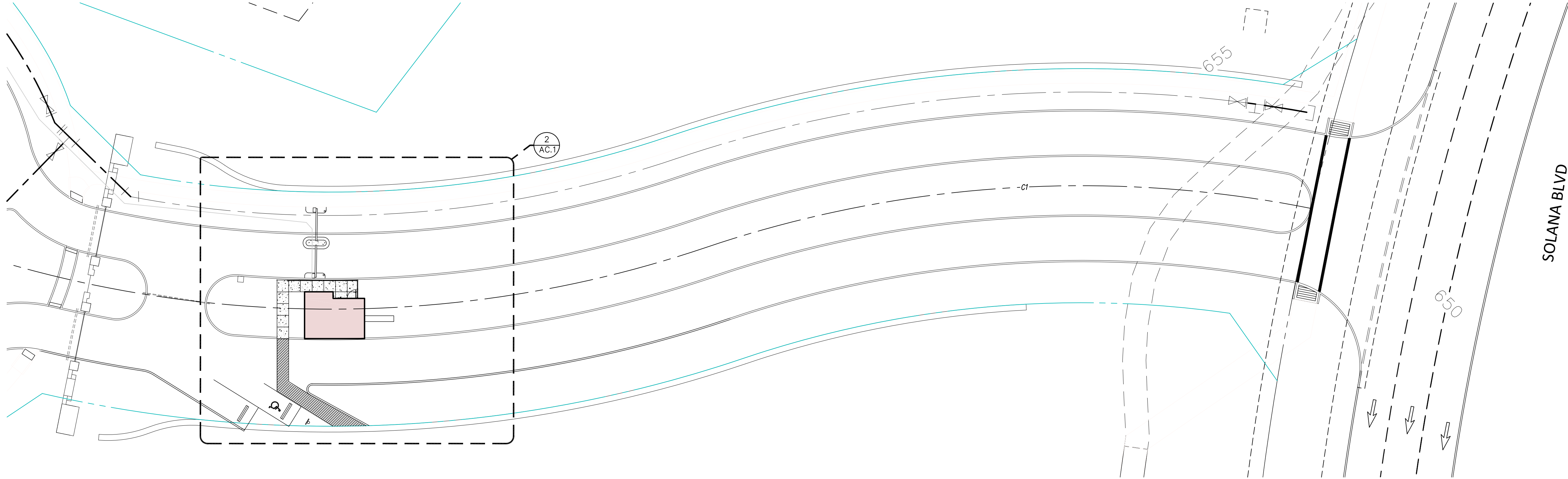


Lara Hall RLA, ASLA

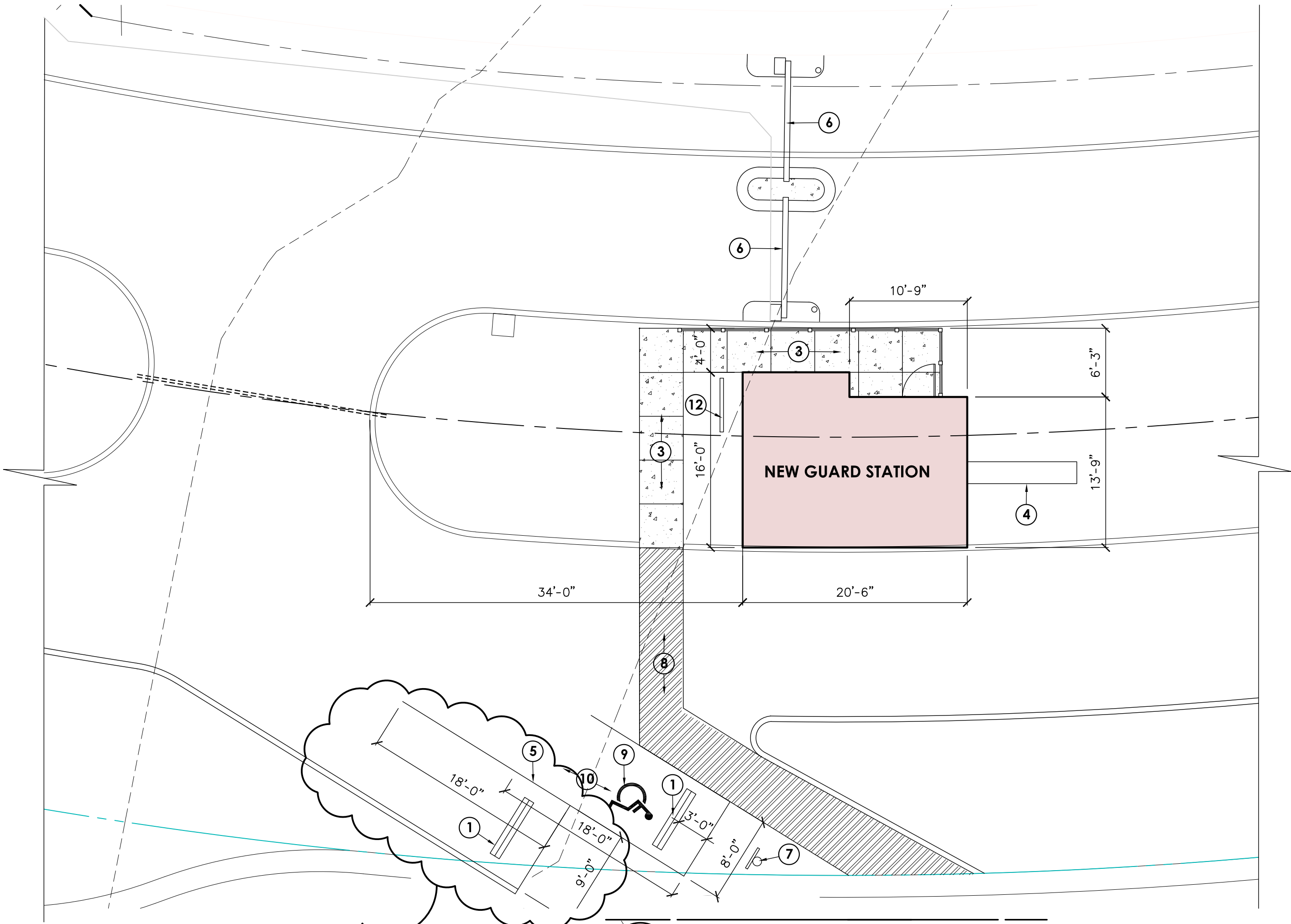








OVERALL SITE PLAN **1**
NORTH SCALE: 1"=10'-0" AC.1



PARTIAL SITE PLAN **2**
NORTH SCALE: 1/8"=1'-0" AC.1

CONSTRUCTION NOTES

- 1 CONCRETE WHEEL STOP WITH 24" REBAR ON BOTH SIDES TO ANCHOR STOPS DOWN. SEE DETAIL X/AX.X
- 2 6" CONCRETE CURB AND GUTTER - SEE CIVIL DRAWINGS
- 3 4" THICK CONCRETE WALK WITH W.W.M., SAW CUT JOINTS AT 5' O.C. AND EXPANSION JOINTS AT 20' O.C. ENSURE A RUNNING SLOPE NO GREATER THAN 6% AND A CROSS SLOPE NO GREATER THAN 2%. PROVIDE 1/2" EXPANSION JOINT MATERIAL. PROVIDE NEW SUB-GRADE COMPACTED TO 95% AS PER ASTM 1557 AS REQUIRED. REFER TO CIVIL DRAWINGS FOR ADDITIONAL PAVING AND GRADING INFORMATION.
- 4 MONUMENTAL SIGN, SEE CIVIL FOR MORE INFORMATION
- 5 PROVIDE STRIPING AND MARKING OF PARKING AREA IN ACCORDANCE WITH LOCAL STANDARDS
- 6 GATE LOOP OPERATIONS, SEE CIVIL DRAWINGS
- 7 POLE-MOUNTED ADA PARKING SIGN, SEE DETAIL 5/AC.2
- 8 ACCESSIBLE ROUTE - PROVIDE STRIPING AND MARKING IN ACCORDANCE WITH CITY STANDARDS
- 9 PAINT H/C SYMBOL USING TXDOT APPROVED PAINT
- 10 ADA PARKING AND LANDING SPACE TO HAVE A SLOPE OF 2% IN ALL DIRECTIONS
- 11 ASPHALT PAVING AT PARKING AREA, SEE CIVIL FOR ADDITIONAL INFORMATION.
- 12 NEW BIKE RACK, SEE DETAIL 1/AC.2

ARCHITECT:
FØKUS
architecture,
5588 N. MESA EL PASO, TEXAS 79912
TEL. 915-845-1716 FAX. 915-845-0132

PROFESSIONAL SEAL
REGISTERED ARCHITECT
EL PASO COUNTY
STATE OF TEXAS
13201
12/ 16/ 2022

GRANADA GUARD STATION

2103 Granada Trl,
Westlake, TX. 76262

ISSUED FOR
REGULATORY
APPROVAL,
PERMITTING, OR
CONSTRUCTION



GREENSTREET, INC.
112 East 82nd Street
Lubbock, Texas 79404
806.745.9444 fax 806.745.8722

DATE: December 16, 2022
CONSTRUCTION DOCUMENTS

REVISIONS:
Δ CITY COMMENTS 01-10-23

SHEET TITLE:
SITE PLAN

SHEET No:
AC.1R

PROJECT NO. 2277
Granada Guard Station

File: M:\Projects\SPEC\SPEC_2023\SPEC22347 Granada Guard House\04-Production\Engineering\IP &
Civil\Plan\SPEC\SPEC22347-05
Created: 1/25/2023 3:51 PM by Justin L. Lansdowne, Inc. Scale: 1/25/2023 11:45 AM by us

Sheet List Table

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C0.01	GENERAL NOTES
C1.00	AERIAL MAP
C1.01	EXISTING CONDITIONS AND DEMOLITION PLAN
C2.00	PAVING, MARKING AND DIMENSION PLAN
C3.00	GRADING PLAN
C5.00	PLAN AND PROFILE - SS-1
C8.00	STANDARD DETAILS
C8.01	STANDARD DETAILS
L1.00	DEMO LANDSCAPE PLAN
L2.00	LANDSCAPE PLAN
L3.00	LANDSCAPE DETAILS
L4.00	IRRIGATION
L5.00	IRRIGATION

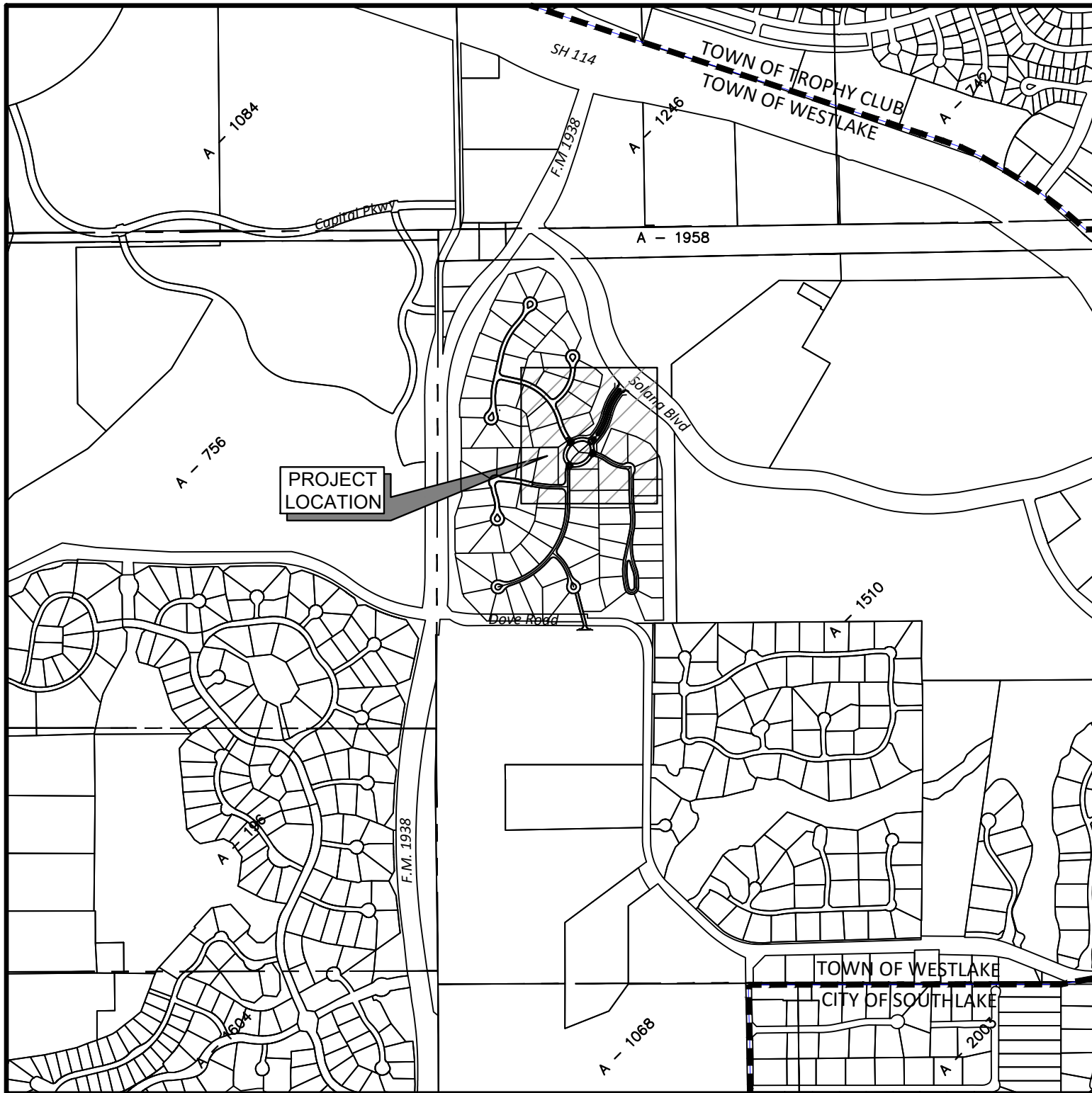
CONSTRUCTION DOCUMENTS

for

GRANADA GUARD HOUSE

FINAL PLAT
LOT 88X, BLOCK A
4.7258 Acres
Zoned PD1-3

in the
C.M. THROOP SURVEY, ABSTRACT NO. 1510
W. MEDLIN SURVEY, ABSTRACT NO. 1958
TOWN OF WESTLAKE
TARRANT COUNTY, TEXAS
JANUARY 2023



OWNER/DEVELOPER
GREENSTREET
112 E 82ND STREET
LUBBOCK, TEXAS 79404
Ph. 806-620-2009
Contact: BRIAN KEY



The John R. McAdams
Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
972.436.9712
201 Country View Drive
Roanoke, Texas 76262
940.240.1012
TBPE: 19762 TBPLS: 10194440
www.mcadamsco.com

Contact: Justin L. Lansdowne, P.E.

The John R. McAdams
Company, Inc.
111 Hillside Drive
Lewisville, Texas 75057
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201 Country View Drive
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GRANADA GUARD HOUSE

GRANADA GUARD HOUSE

FINAL PLAT

Lot 88X, Block A

4.7258 Acres

in the

C.M. THROOP SURVEY, ABSTRACT NO. 1510

TOWN OF WESTLAKE

TARRANT COUNTY, TEXAS

COVER SHEET

PRELIMINARY PLANS

THIS DOCUMENT IS FOR
INTERIM REVIEW AND IS
NOT INTENDED FOR
CONSTRUCTION, BIDDING,
OR PERMIT PURPOSES.
THE JOHN R. MCADAMS
COMPANY, INC.
TBPE: 19762
JUSTIN L. LANSDOWNE,
P.E. #121990
DATE 1/25/2023

Drawn By: KV
Date: 01/25/2023
Scale: N.T.S.
Revisions:

SPEC22347

C0.00

CONSTRUCTION DOCUMENTS

GENERAL NOTES

1. THE TERM MUNICIPALITY REFERS TO THE TOWN OF WESTLAKE.
2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE MUNICIPALITY AND SHALL BE IN ACCORDANCE WITH THE MUNICIPAL STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION. ALL WORK NOT COVERED IN THE CONTRACT DOCUMENTS AND MUNICIPAL STANDARD DETAILS AND SPECIFICATIONS FOR CONSTRUCTION SHALL BE GOVERNED BY THE NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENT STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION.
3. EXISTING UTILITY LOCATIONS SHOWN ARE GENERALLY SCHEMATIC IN NATURE AND MAY NOT ACCURATELY REFLECT THE SIZE AND LOCATION OF EACH PARTICULAR UTILITY. EXISTING UTILITIES SHOWN HAVE BEEN BASED ON AVAILABLE RECORD DRAWINGS AND SURFACE APPURTENANCE FIELD TIES ONLY. SOME UTILITY LINES AND SURFACE LOCATIONS MAY NOT BE SHOWN. THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ACTUAL FIELD LOCATIONS AND PROTECTION OF EXISTING UTILITIES WHETHER SHOWN OR NOT. THE CONTRACTOR SHALL ALSO ASSUME RESPONSIBILITY FOR REPAIRS TO EXISTING UTILITIES WHETHER SHOWN OR NOT, DAMAGED BY THE CONTRACTOR'S ACTIVITIES. DIFFERENCES IN HORIZONTAL OR VERTICAL LOCATIONS OF EXISTING UTILITIES SHALL NOT BE BASIS FOR ADDITIONAL COMPENSATIONS TO THE CONTRACTOR.
4. THE CONTRACTOR SHALL PROTECT EXISTING PROPERTY MONUMENTATION AND PRIMARY CONTROL. ANY SUCH POINTS WHICH THE CONTRACTOR BELIEVES WILL BE DESTROYED SHALL HAVE OFFSET POINTS ESTABLISHED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MONUMENTATION DESTROYED BY THE CONTRACTOR SHALL BE REESTABLISHED AT CONTRACTORS EXPENSE BY A REGISTERED PROFESSIONAL LAND SURVEYOR.
5. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO: A.) PREVENT ANY DAMAGES TO PRIVATE PROPERTY AND PROPERTY OWNER'S POLES, FENCES, SHRUBS, ETC. B.) PROTECT ALL UNDERGROUND UTILITIES. C.) NOTIFY ALL UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO EXCAVATION IN ACCORDANCE WITH TEXAS LAW. D.) FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES IN THE VICINITY OF CONSTRUCTION ACTIVITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY ENGINEER OF ANY UNIDENTIFIED POTENTIAL CONFLICTS THAT MAY EXIST BETWEEN THE EXISTING UTILITIES AND CONSTRUCTION PLANS.
6. ANY DAMAGES THAT MAY OCCUR TO REAL PROPERTY OR EXISTING IMPROVEMENTS, INCLUDING EXISTING PRIVATE AND PUBLIC LANDSCAPE IRRIGATION SYSTEMS, SHALL BE RESTORED BY THE CONTRACTOR TO AT LEAST THE SAME CONDITION THAT THE REAL PROPERTY OR EXISTING IMPROVEMENT WERE IN PRIOR TO THE DAMAGES. THE CONTRACTOR WILL ALSO BE RESPONSIBLE FOR THE ADJUSTMENT OF SPRINKLER HEADS TO FINAL GRADE AND RELOCATION IF NECESSARY.
7. THE CONTRACTOR SHALL MAINTAIN DRAINAGE AT ALL TIMES DURING CONSTRUCTION. THE PONDING OF WATER IN STREETS, DRIVES, TRENCHES, ETC, WILL NOT BE ALLOWED. THE CONTRACTOR SHALL MAINTAIN EXISTING DRIVEWAYS ACCESS AT ALL TIME.
8. THE CONTRACTOR SHALL MAINTAIN EXISTING SANITARY SEWER AND WATER SERVICES AT ALL TIMES DURING CONSTRUCTION.
9. AREAS OF THE SITE THAT WILL UNDERLIE FILL SHALL BE SCARIFIED TO A DEPTH OF 8 INCHES, FILL SHALL BE PLACED IN LOOSE LIFTS NOT EXCEEDING 8 INCHES IN UNCOMPACTED THICKNESS. ALL FILL MATERIAL SHALL BE COMPACTED TO 95% STANDARD PROCTOR DENSITY WITH A MOISTURE CONTENT FROM -3% TO +1% OF OPTIMUM OR PER GEOTECH RECOMMENDATION. FIELD DENSITY TESTS PER MUNICIPAL REQUIREMENTS.
10. THE CONTRACTOR SHALL ABIDE BY ALL APPLICABLE FEDERAL, STATE, AND LOCAL LAWS GOVERNING EXCAVATION. THE CONTRACTOR SHALL PROVIDE DETAILED PLANS AND SPECIFICATION FOR TRENCH SAFETY SYSTEMS THAT COMPLY WITH APPLICABLE LAWS GOVERNING EXCAVATION. THESE PLANS SHALL BE SEALED BY AN ENGINEER EXPERIENCED IN THE DESIGN OF TRENCH SAFETY SYSTEM, REGISTERED IN THE STATE OF TEXAS. THE CONTRACTOR SHALL SUBMIT COMPLETED TRENCH SAFETY PLANS TO THE MUNICIPALITY PRIOR TO COMMENCING WORK. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL ASPECTS OF WORK RELATED TO EXCAVATION. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONSTRUCTION SAFETY AND HEALTH REGULATIONS".
11. WORK MAY NOT BE BACKFILLED OR COVERED UNTIL IT HAS BEEN INSPECTED BY THE MUNICIPALITY.
12. ALL EXCAVATION ON THE PROJECT IS UNCLASSIFIED.
13. ALL CURB AND GUTTER SHALL BE INTEGRAL WITH THE CONCRETE PAVEMENT.
14. CONTRACTOR SHALL COORDINATE THE PROTECTION OF EXISTING FRANCHISE UTILITIES AND APPURTENANCES INCLUDING EXISTING UTILITY POLES IN THE VICINITY OF CONSTRUCTION OPERATIONS WHETHER UTILITIES ARE SHOWN ON PLANS OR NOT. ANY DAMAGE INCURRED TO EXISTING FRANCHISE UTILITIES, APPURTENANCES, UTILITY POLES, LIGHT STANDARDS, ETC., BY CONSTRUCTION RELATED ACTIVITIES SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
15. THE CONTRACTOR SHALL LOCATE AND RECORD EXISTING IRRIGATION SYSTEMS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL TEMPORARILY REMOVE AND CAP IRRIGATION SYSTEM AS NECESSARY FOR CONSTRUCTION AND SHALL REPLACE THE PORTION REMOVED WITH EQUIVALENT SYSTEMS. CONTRACTOR SHALL COORDINATE ANY IRRIGATION WORK WITH THE MUNICIPALITY AND PROPERTY OWNER'S REPRESENTATIVES.
16. THE CONTRACTOR MUST CEASE ALL CONSTRUCTION OPERATIONS IMMEDIATELY IF A SUSPECTED ARCHEOLOGICAL OBJECT/ARTIFACT IS UNCOVERED DURING CONSTRUCTION. THE CONTRACTOR MUST IMMEDIATELY CONTACT THE TEXAS HISTORICAL COMMISSION AND THE MUNICIPALITY. PROJECT WORK WILL NOT COMMENCE UNTIL PROPER PERMITS ARE IN PLACE AND PROVIDED TO THE MUNICIPALITY.
17. ALL PAVING DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
18. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE COMPLIANCE WITH ALL HANDICAPPED ACCESSIBILITY REQUIREMENTS INCLUDING SIGNAGE, TEXTURES, COLORING, MARKINGS, AND SLOPES OF ADA/TAS 2012 ACCESSIBLE ROUTES & RAMPS, AND PARKING SPACES.
19. ALL PIPE LENGTHS MEASURED FROM STATION TO STATION BASED ON THE CENTER OF STRUCTURE UNLESS OTHERWISE NOTED.
20. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES ARISE.

GENERAL NOTES FOR WATER IMPROVEMENTS

1. ALL WATER LINES SHALL BE PVC PIPE CONFORMING TO A.W.W.A. STANDARD C-900 DR-18 MINIMUM, WITH NSF SEAL, PRESSURE TESTED AND DISINFECTED IN ACCORDANCE WITH MUNICIPAL AND/OR NCTCOG STD. SPECS., UNLESS OTHERWISE NOTED WITHIN THE CONSTRUCTION PLANS.

GENERAL NOTES FOR PAVING IMPROVEMENTS

1. THE SUB GRADE SHALL BE PROOF ROLLED AND OBSERVED BY THE CONSTRUCTION INSPECTOR PRIOR TO AND AFTER SUB-GRADE STABILIZATION.
2. INDIVIDUAL WATER AND SEWER SERVICES AND WATER VALVES SHALL BE MARKED IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
3. THE CONTRACTOR SHALL PROCEED WITH PAVING NO MORE THAN SEVENTY-TWO (72) HOURS AFTER DENSITY/MOISTURE TESTS HAVE BEEN TAKEN AND PASSED BY A REGISTERED TESTING FIRM. COPIES OF THE TEST RESULTS SHALL BE FURNISHED TO THE MUNICIPALITY. IN THE EVENT PAVING OPERATIONS HAVE NOT COMMENCED WITHIN THE SEVENTY-TWO (72) HOUR LIMIT, A RETEST SHALL BE REQUIRED AT THE CONTRACTOR'S EXPENSE.
4. MANHOLE RIM ELEVATIONS, CLEAN-OUTS, VALVE BOXES, FIRE HYDRANTS, ETC. SHALL BE ADJUSTED TO FINISHED GRADE BY THE PAVING CONTRACTOR AT THE TIME OF PAVING.
5. THE PAVING CONTRACTOR SHALL INSTALL A BLUE REFLECTOR IN THE STREET OR FIRE LANE CENTERLINE AT THE LOCATION OF EACH FIRE HYDRANT.
6. THE CONTRACTOR SHALL PREPARE ALL TRAFFIC CONTROL PLANS AND SUBMIT TO THE MUNICIPALITY PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMITS FOR WORK WITHIN THE MUNICIPALITY. THE PLAN SHALL BE PREPARED IN ACCORDANCE WITH THE CURRENT EDITION OF THE M.U.T.C.D AND AS MODIFIED BY THE TXDOT SUPPLEMENT TO THE M.U.T.C.D. THE PLAN SHALL ADDRESS THE REQUIREMENTS FOR ALL SIGNS, BARRICADES, FLAGMEN, LIGHTS, HOURS OF CONSTRUCTION, AND OTHER DEVICES AS NECESSARY FOR SAFE TRAFFIC CONTROL.

GENERAL NOTES FOR SANITARY SEWER IMPROVEMENTS

1. SANITARY SEWER PVC PIPE SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH MUNICIPAL REQUIREMENTS.
2. AFTER COMPLETION OF ALL SANITARY SEWER TESTING (I.E. MANDREL AND AIR) CONTRACTOR SHALL PERFORM A TELEVISION INSPECTION AND PROVIDE A VIDEOTAPE TO THE MUNICIPALITY. ALL MANHOLES SHALL BE VACUUM TESTED.
3. ONE JOINT OF 150-PSI PRESSURE RATED PIPE SHALL BE INSTALLED AND CENTERED UNDER ALL PROPOSED WATER PIPE CROSSINGS.
4. CONTRACTOR TO PLACE A 3/4" PLYWOOD FALSE BOTTOM IN ALL SANITARY SEWER MANHOLES BEFORE PAVING CONTRACTOR BEGINS WORK.
5. ANY CONNECTION TIE-IN TO AN EXISTING MANHOLE MUST BE CORED.
6. ALL CLEAN-OUTS TO BE PROVIDED PER MUNICIPAL REQUIREMENTS.

PROJECT GENERAL NOTES

1. THE TEXAS DEPARTMENT OF TRANSPORTATION (TXDOT) MUST APPROVE ANY WORK TO BE DONE IN THE STATE HIGHWAY RIGHT-OF-WAY. AN APPLICATION AND APPROPRIATE PLANS MUST BE SUBMITTED DIRECTLY TO TXDOT FOR REVIEW AND APPROVED BY THE MUNICIPALITY WHERE THE WORK WILL BE PERFORMED.
2. THE LOCATION OF UNDERGROUND FACILITIES INDICATED ON THE PLANS IS TAKEN FROM PUBLIC RECORDS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES. IF THE EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
3. WHERE EXISTING UTILITIES, SERVICE LINES OR IRRIGATION LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES, SERVICE LINES OR IRRIGATION LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS IN GRADES AND ALIGNMENTS.
4. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U.S. DEPARTMENT OF LABOR, OSHA, "CONST. SAFETY AND HEALTH REGULATIONS." VOL. 29, SUBPART P. PG. 128-137, AND ANY AMENDMENTS THERETO. THE CONTRACTOR SHALL PREPARE AND IMPLEMENT A TRENCH SAFETY PLAN FOR THIS PROJECT.
5. THE CONTRACTOR SHALL RESTORE ALL AREAS, ONSITE AND OFFSITE, DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO: TRENCH BACKFILL, SIDE SLOPES, FENCES, CULVERT PIPES, DRAINAGE SWALES, STAGING AREAS, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS. UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE DRAWINGS, RESTORATION SHALL INCLUDE HYDROMULCHING ALL DISTURBED AREAS WITH A SLOPE OF LESS THAN 20% (1:5) AND SODDING AREAS WITH A SLOPE OF 20% (1:5) OR GREATER. ESTABLISHMENT OF GRASS THROUGH PROPER WATERING IS LEFT UP TO THE CONTRACT'S MEANS AND METHODS, UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE/IRRIGATION DRAWINGS.
6. THE CONTRACTOR SHALL KEEP RECORDS FOR AS-BUILTS DRAWINGS AND SHALL SUBMIT MARK-UPS TO THE MUNICIPALITY INSPECTOR PRIOR TO SCHEDULING A FINAL WALK THROUGH INSPECTION.
7. PRIOR TO CONSTRUCTION, A PRE-CONSTRUCTION MEETING SHALL BE HELD WITH REPRESENTATIVES FROM ALL CONTRACTORS, THE ENGINEER, AND THE MUNICIPALITY.
8. ALL CONSTRUCTION MUST ADHERE TO THE TREE PRESERVATION REQUIREMENTS OF THE MUNICIPALITY.
9. THE CONTRACTOR, AND HIS AGENTS, AND SUB-CONTRACTOR, ARE COMPLETELY RESPONSIBLE FOR THE VERIFICATION OF THE ACCURACY OF THE DIMENSION CONTROL FURNISHED HEREIN. THE OWNER, ENGINEER AND THEIR AGENTS, ARE NOT RESPONSIBLE FOR THE ACCURACY OF THE COORDINATES FURNISHED. THE CONTRACTOR IS REQUIRED TO VERIFY ALL COORDINATES FOR ACCURACY AND CONFIRM THE LOCATIONS OF ALL UTILITIES TO BE CONSTRUCTED, BOTH HORIZONTAL AND VERTICALLY. DISCREPANCIES FOUND BY THE CONTRACTOR SHALL BE REPORTED, IN WRITING, TO THE OWNER IMMEDIATELY FOR RECONCILIATION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIRED FOR THIS PROJECT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL PREPARE, IMPLEMENT AND MAINTAIN THE SWPPP IN ACCORDANCE WITH THE REQUIREMENTS OF THE CURRENT TCEQ AND NPDES GENERAL PERMIT AS DESCRIBED IN THE FEDERAL REGISTER, PAGES 36489 THROUGH 36519.

TEXAS ACCESSIBILITY STANDARDS/AMERICAN WITH DISABILITIES ACT REQUIREMENTS

1. THE MAXIMUM ALLOWED CROSS SLOPE ON ANY PROPOSED SIDEWALK OR TRAIL IS 2%.
2. THE MAXIMUM ALLOWED PATH OF TRAVEL SLOPE IS 5%, UNLESS OTHERWISE NOTED ON THESE PLANS. ANY SLOPE GREATER THEN 5%, AND LESS THAN 8.25%, MUST HAVE HANDRAILS. NO SLOPE GREATER THAN 8.25% SHALL BE ALLOWED.
3. SLOPES BETWEEN 5% AND 8.25% ARE CONSIDERED RAMPS. NO RAMP CAN EXCEED 30' IN LENGTH AND NO RAMP CAN EXCEED A GRADE CHANGE OF MORE THAN 2'-6". LANDINGS ARE REQUIRED IF EITHER OF THESE ARE EXCEEDED.
4. LANDINGS MAY NOT EXCEED 2% SLOPE IN ANY DIRECTION.
5. RAILINGS, IF REQUIRED, ARE TO EXTEND A MINIMUM OF 1' INTO THE LANDING AREA.
6. CURB RAMPS ARE REQUIRED AT THE END AT ALL CROSSWALKS. ALL CURB RAMPS ARE TO HAVE A MAXIMUM OF 6" OF RISE OVER THE 6' LENGTH OF THE RAMP. THE MAXIMUM ALLOWED CROSS SLOPE IS 2%.
7. TRUNCATED DOMES ARE TO BE INSTALLED AT THE BOTTOM OF EACH RAMP. THE DOMES ARE TO EXTEND THE FULL WIDTH OF THE PROPOSED RAMP AND MUST BE OF A CONTRASTING COLOR TO THE RAMP PAVEMENT, SIMILAR COLORS WILL NOT BE ACCEPTED.
8. ANY WALKWAY, SIDEWALK OR TRAIL, LESS THAN 5' IN WIDTH MUST HAVE A 5'X5' PASSING ZONE EVERY 200', OR LESS.
9. A PAVED ACCESSIBLE PARKING SPACE MUST INCLUDE:
 - 9.1. THE INTERNATIONAL SYMBOL OF ACCESSIBILITY PAINTED CONSPICUOUSLY ON THE SURFACE IN A COLOR THAT CONTRASTS THE PAVEMENT;
 - 9.2. THE WORDS "NO PARKING" PAINTED ON ANY SURFACE AISLE ADJACENT TO THE PARKING SPACE. THE WORDS MUST BE PAINTED:
 - 9.2.1. IN ALL CAPITAL LETTERS
 - 9.2.2. WITH A LETTER HEIGHT OS AT LEAST 12 INCHES AND A STROKE WIDTH OF AT LEAST 2 INCHES; AND
 - 9.2.3. CENTERED WITHIN EACH ACCESS AISLE ADJACENT TO THE PARKING SPACE; AND
 - 9.3. A SIGN IDENTIFYING THE CONSEQUENCES OF PARKING ILLEGALLY IN A PAVED ACCESSIBLE SPACE. THE SIGN MUST:
 - 9.3.1. AT A MINIMUM STATE "VIOLATORS SUBJECT TO FINE AND TOWING" IN A LETTER HEIGHT OF AT LEAST ONE INCH;
 - 9.3.2. BE MOUNTED ON A POLE, POST, WALL OR FREE STANDING BOARD;
 - 9.3.3. BE NO MORE THAT EIGHT INCHES BELOW A SIGN REQUIRED BY THE TEXAS ACCESSIBILITY STANDARDS, 502.6; AND
 - 9.3.4. BE INSTALLED SO THAT THE BOTTOM EDGE OF THE SIGN IS NO LOWER THAN 48 INCHES AND NO HIGHER THAN 80 INCHES ABOVE GROUND LEVEL.

TOWN OF WESTLAKE UTILITY CONTACTS

BUILDING OFFICIAL	(817) 490-5726
PLANNING DIRECTOR	(817) 490-5739
DEVELOPMENT COORDINATOR	(817) 490-5742
PERMIT TECHNICIAN	(817) 490-5745
FACILITIES/PUBLIC WORKS DIRECTOR	(817) 490-5735
PUBLIC WORKS SUPERINTENDENT	(817) 490-5733
PUBLIC WORKS FIELD OPERATIONS COORDINATOR	(817) 490-5731
UTILITY AND FACILITY COORDINATOR	(817) 490-5732
UTILITY AND MAINTENANCE TECHNICIAN	(817) 490-5754
DEPUTY FIRE CHIEF/FIRE MARSHAL	(817) 490-5786
INSPECTION LINE	1-(817) 490-5718
WATER METERS	1-(817) 490-5739
CHARTER	1-(888) 438-2427
ATMOS GAS	1-(866) 322-8667
ONCOR	1-(888) 313-4747
VERIZON	1-(800) 837-4966
AT&T	1-(800) 331-0500
DIG T.E.S.S	1-(800) 344-8377

LEGEND

ABBREVIATIONS:

CRF	Capped Rebar Found	FG	Finished Grade
CRS	Capped Rebar Set	FF	Finished Floor
CP	Control Point	FP	Finished Pad
Mon.	Monument	FL	Flowline
BM	Benchmark	UE	Utility Easement
Ex TC	Existing Top of Curb	DE	Drainage Easement
Ex TP	Existing Top of Pavement	BL	Building Line
TC	Top of Curb	R.O.W.	Right-of-Way
G	Gutter	DR	Deed Records
PG	Proposed Grade	PR	Plot Records
TP	Grade at Top of Pavement	PAE	Pedestrian Access Easement
TA	Grade at Top of Asphalt	SB	Selback line
TW	Grade at Top of Wall	WLE	Waterline Easement
BW	Grade at Bottom of Wall	MAE	Mutual Access Easement
RW	Grade at Retaining Wall		
TG	Grade at Top of Grate		

LINE & SYMBOLS:

Existing:		Proposed:
	Contours	
	Asphalt Pavement	
	Wood Fence	
	Chain Link Fence	
	Wire Fence	
	Masonry Wall	
	Centerline of Creek, Swale, or Waterway	
	Waterline	
	Sanitary Sewer	
	Storm Sewer	
	Overhead Power	
	Buried Power	
	Gas Line	
	Fire Hydrant	
	Water Valve	
	Water Meter	
	Sanitary Sewer Manhole	
	Guy Wire	
	Light Pole	
	Power Pole	
	Tree	
	Benchmark	

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GRANADA GUARD HOUSE

FINAL PLAT

Lot 88X, Block A

4.7268 Acres

in the
CM. THROOP SURVEY, ABSTRACT NO. 150
TOWN OF WESTLAKE
TARRANT COUNTY, TEXAS

GENERAL NOTES

PRELIMINARY PLANS

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THE JOHN R. MCADAMS
COMPANY, INC.
TBPE: 19762
JUSTIN L. LANDSDOWNE,
P.E. #121990
DATE 1/25/2023

Drawn By: KV
Date: 01/25/2023
Scale: N.T.S.
Revisions:

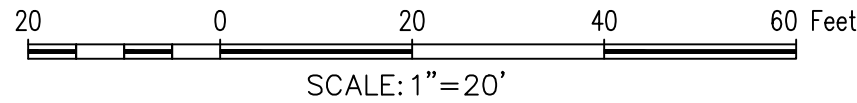
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OWNER/DEVELOPER
GREENSTREET
112 E 82ND STREET
LUBBOCK, TEXAS 79404
Ph. 806-620-2009
Contact: BRIAN KEY

GRANADA GUARD HOUSE

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TBM BOX CUT WITH "4" ON THE EASTERN NOSE OF AN EXISTING CONCRETE MEDIAN
LOCATED ON SOLANA BOULEVARD 1,415± EAST OF THE INTERSECTION OF DAVIS
BOULEVARD AND SOLANA BOULEVARD, 105± NORTHWEST OF THE ENTRANCE TO THE
GRANADA SUBDIVISION. ELEVATION: 652.70'

N: 7044208.318 E: 2373351.226

OWNER/DEVELOPER
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GRANADA GUARD HOUSE

FINAL PLAT
Lot 88X, Block A
4.7258 Acres
in the
C.M. THROOP SURVEY, ABSTRACT NO. 1510
TOWN OF WESTLAKE
TARRANT COUNTY, TEXAS

AERIAL MAP

PRELIMINARY PLANS

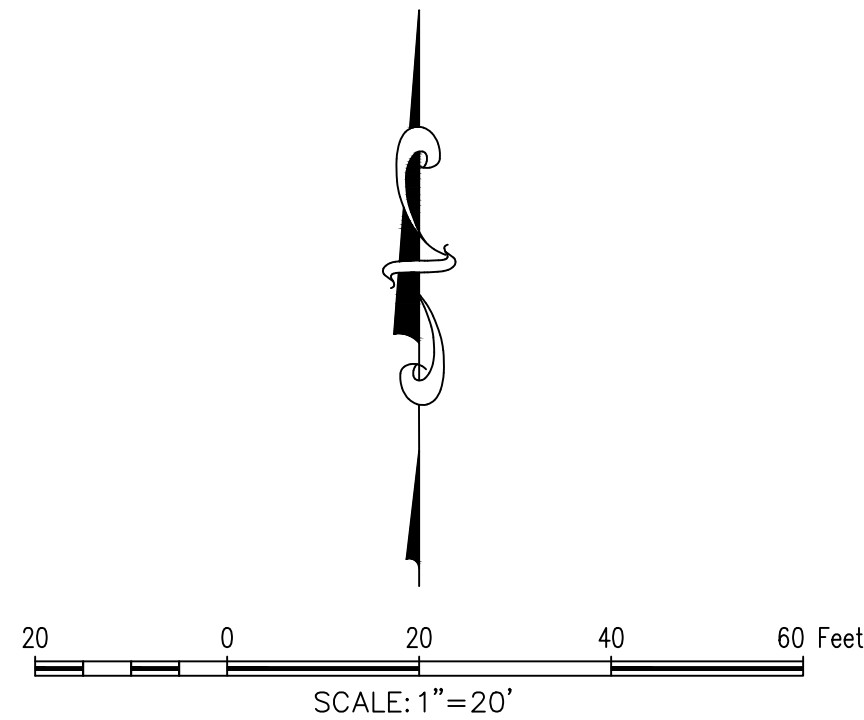
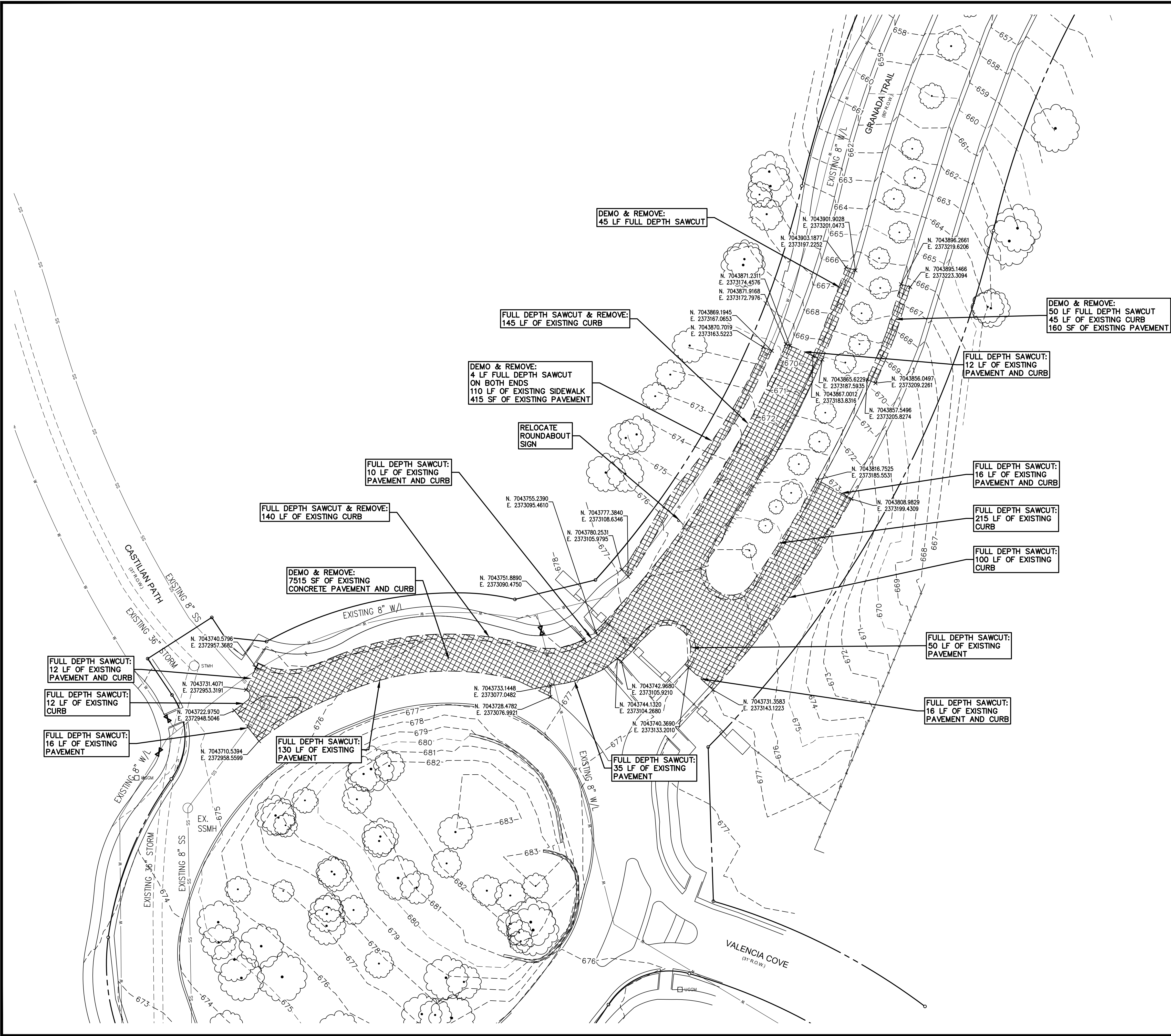
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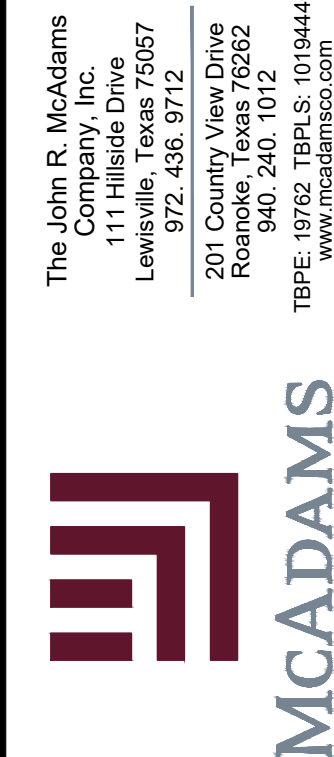
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Contact: BRIAN KEY



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GRANADA GUARD HOUSE
FINAL PLAT
Lot 88X, Block A
4.7258 Acres
in the
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TOWN OF WESTLAKE
TARRANT COUNTY, TEXAS

EXISTING CONDITIONS AND DEMOLITION PLAN

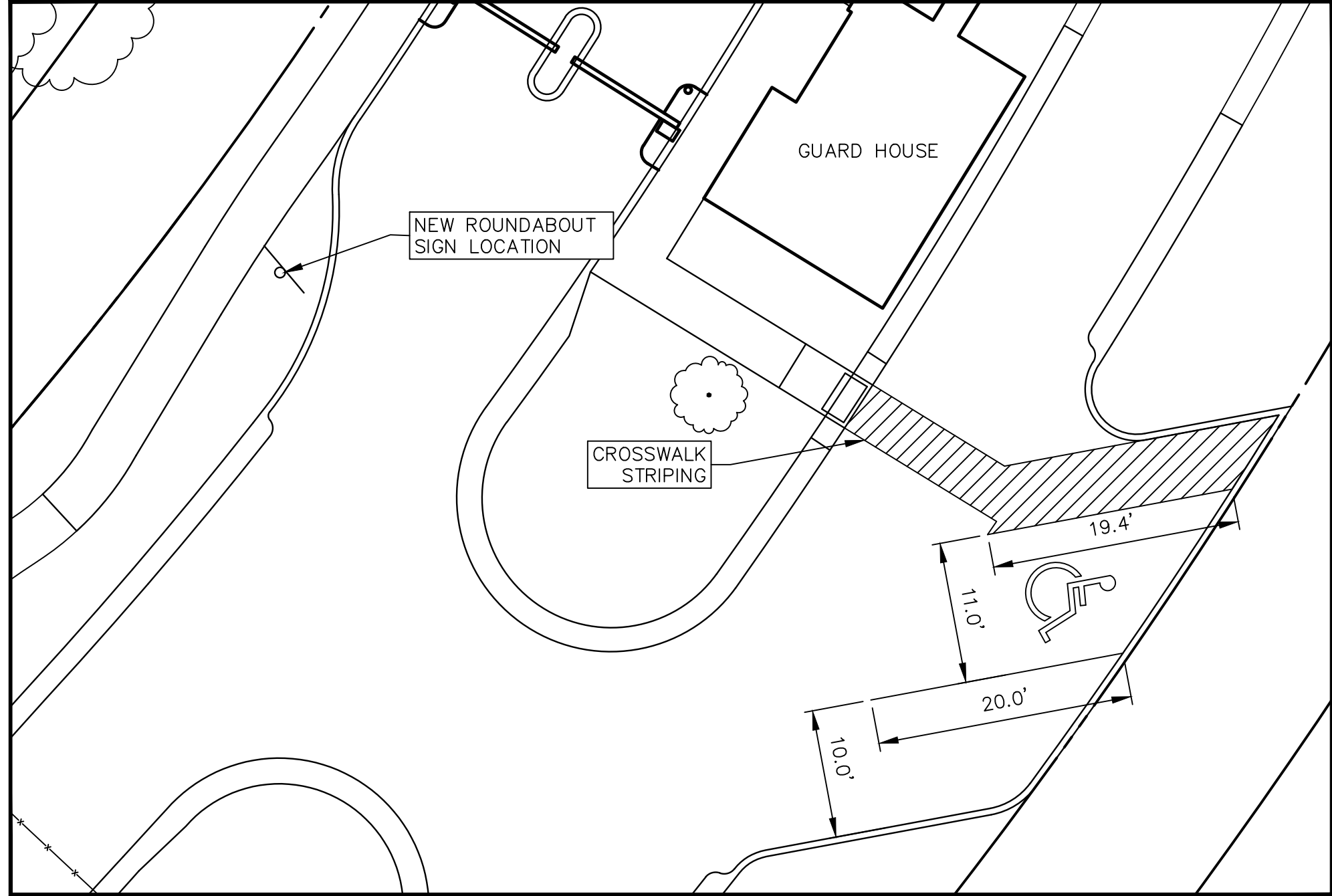
PRELIMINARY PLANS

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TBP#: 19762
JUSTIN L. LANSLOWNE,
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DATE: 1/25/2023

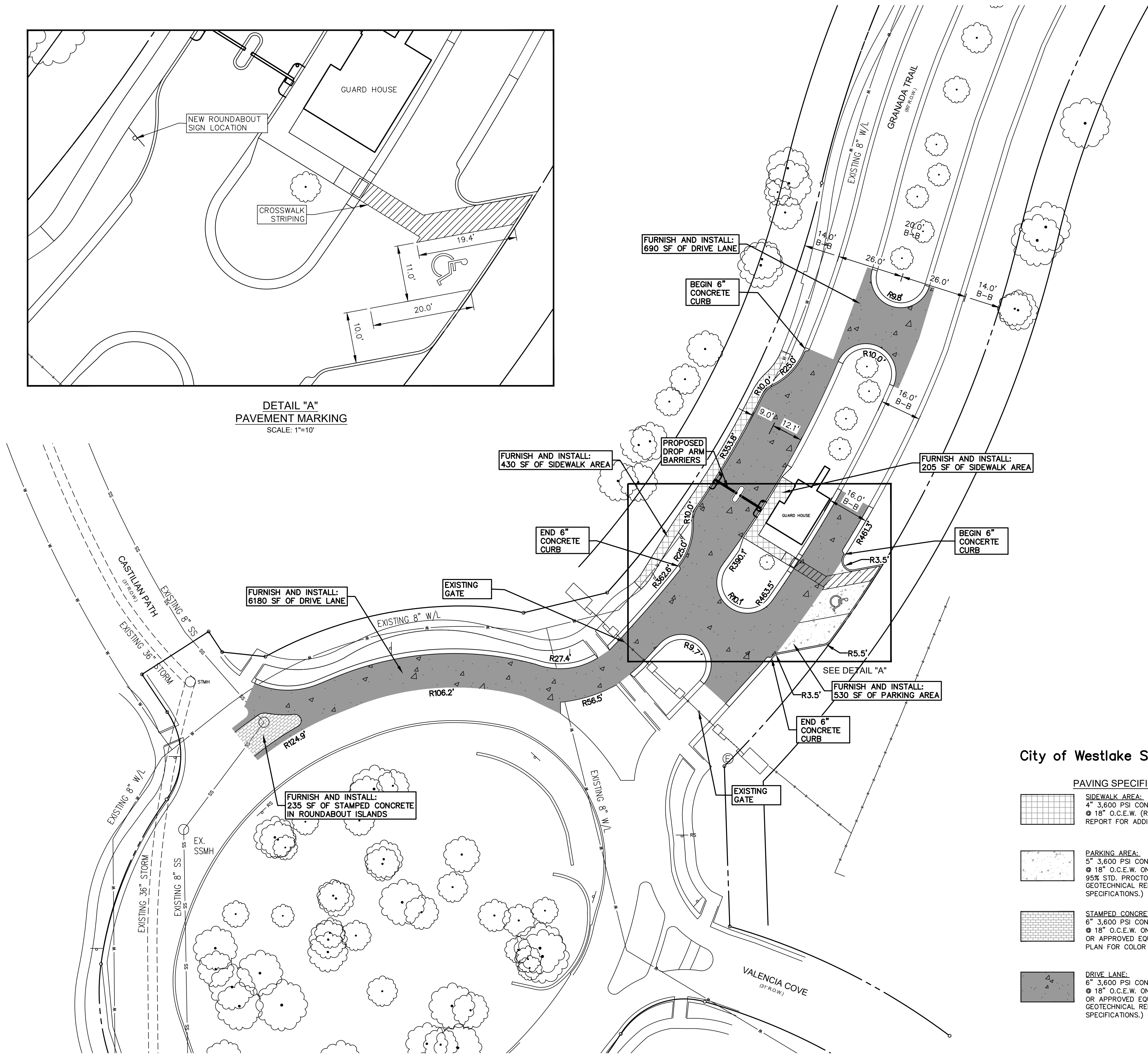
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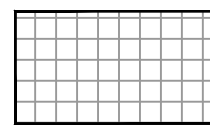


DETAIL "A"
PAVEMENT MARKING
SCALE: 1"=10'



City of Westlake Specifications

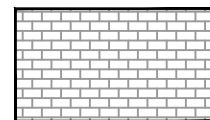
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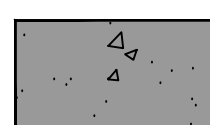
SIDEWALK AREA:
4" 3,600 PSI CONC. PAVEMENT W/ #3 BARS
@ 18" O.C.E.W. (REFER TO GEOTECHNICAL
REPORT FOR ADDITIONAL SPECIFICATIONS.)



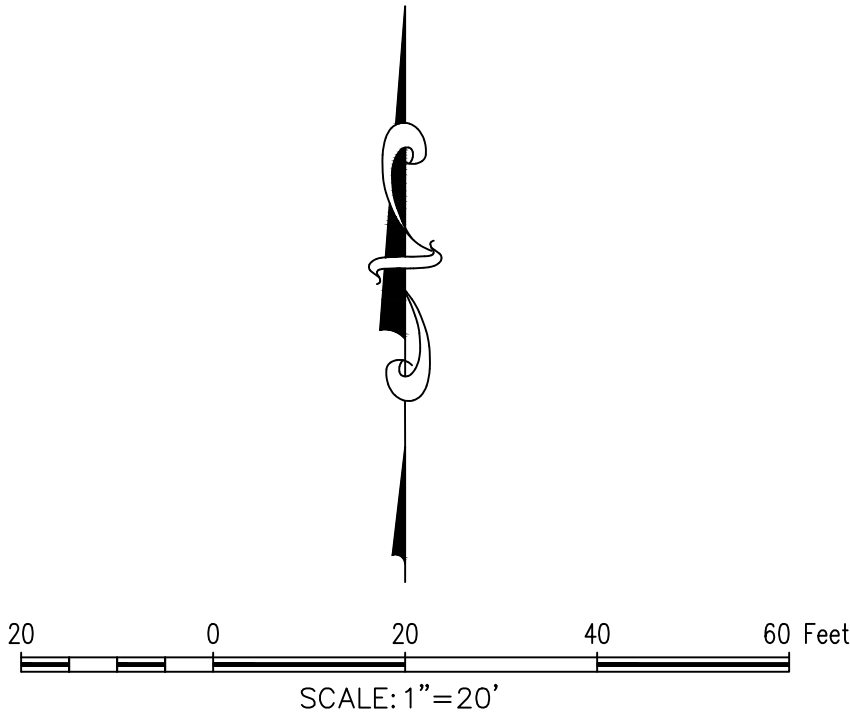
PARKING AREA:
5" 3,600 PSI CONC. PAVEMENT W/ #3 BARS
@ 18" O.C.E.W. ON SUB-BASE COMPACTED TO
95% STD. PROCTOR DENSITY (REFER TO
GEOTECHNICAL REPORT FOR ADDITIONAL
SPECIFICATIONS.)



STAMPED CONCRETE IN ROUNDABOUT ISLANDS:
6" 3,600 PSI CONC. PAVEMENT W/ #3 BARS
@ 18" O.C.E.W. ON 8" STABILIZED SUBGRADE
OR APPROVED EQUAL. (REFER TO HARDSCAPE
PLAN FOR COLOR AND PATTERN.)



DRIVE LANE:
6" 3,600 PSI CONC. PAVEMENT W/ #3 BARS
@ 18" O.C.E.W. ON 8" STABILIZED SUBGRADE
OR APPROVED EQUAL. (REFER TO
GEOTECHNICAL REPORT FOR ADDITIONAL
SPECIFICATIONS.)



TBM BOX CUT WITH "4" ON THE EASTERN NOSE OF AN EXISTING CONCRETE MEDIAN
LOCATED ON SOLANA BOULEVARD 1,415± EAST OF THE INTERSECTION OF DAVIS
BOULEVARD AND SOLANA BOULEVARD, 105± NORTHWEST OF THE ENTRANCE TO THE
GRANADA SUBDIVISION. ELEVATION: 652.70'

N: 7044208.318 E: 2373351.226

GENERAL NOTES

1. ALL DIMENSIONS ARE TO BACK OF CURB AND TO PIS
AND PCs UNLESS OTHERWISE NOTED.

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Roanoke, Texas 72082
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TBP#: 19762 TPLS: 10194440
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MCADAMS

GRANADA GUARD HOUSE

GRANADA GUARD HOUSE

FINAL PLAT

Lot 88X, Block A

4.7258 Acres

in the

C.M. THROOP SURVEY, ABSTRACT NO. 150

TOWN OF WESTLAKE

TARRANT COUNTY, TEXAS

PAVING, MARKING AND DIMENSION PLAN

PRELIMINARY PLANS

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THE JOHN R. MCADAMS
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TBP#: 19762
JUSTIN L. LANSLOWNE,
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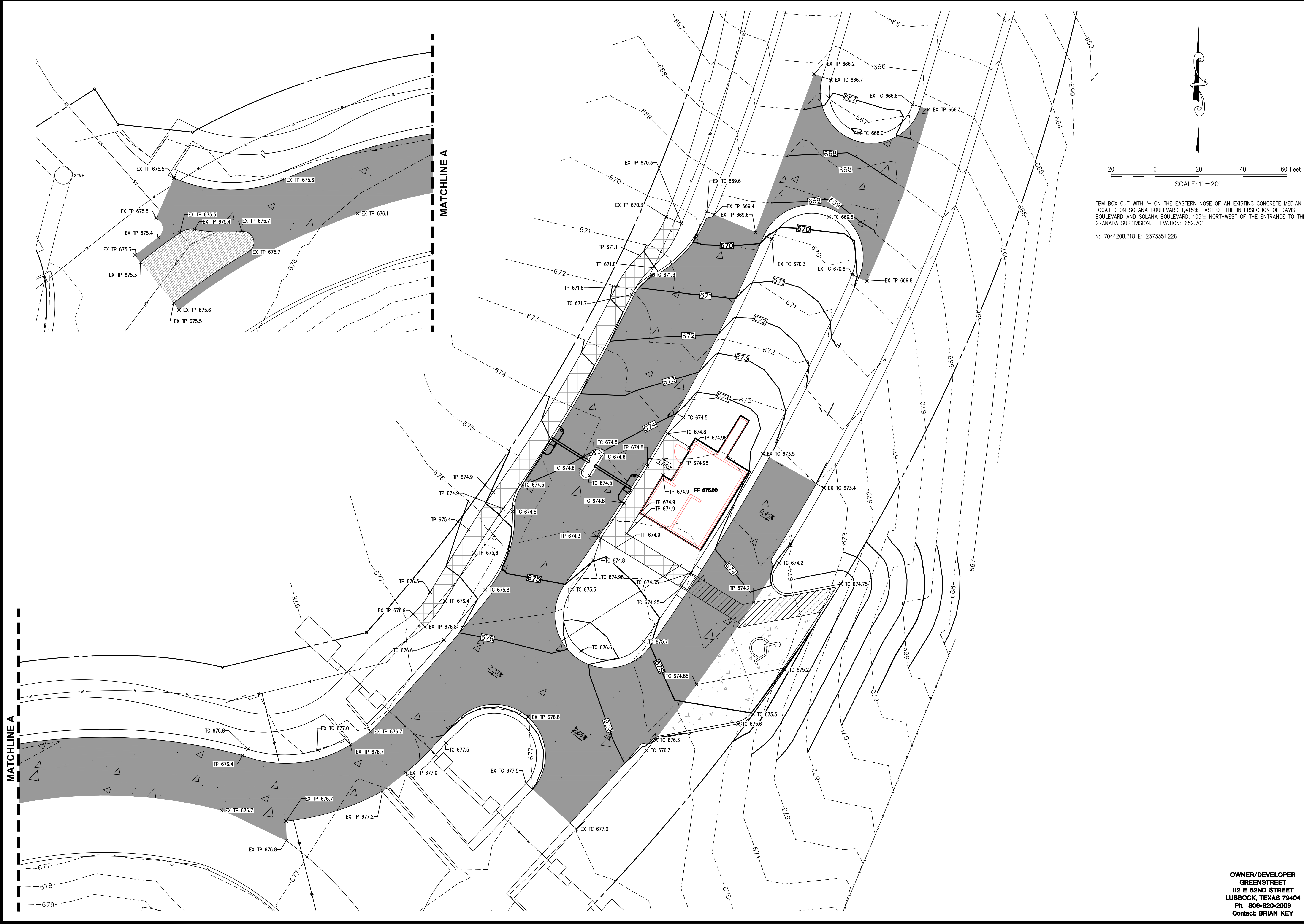
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OWNER/DEVELOPER
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112 E 82ND STREET
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Ph. 806-620-2009
Contact: BRIAN KEY

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TBM BOX CUT WITH "X" ON THE EASTERN NOSE OF AN EXISTING CONCRETE MEDIAN
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GRANADA SUBDIVISION. ELEVATION: 652.70'
N: 7044208.318 E: 2373351.226

OWNER/DEVELOPER
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112 E 82ND STREET
LUBBOCK, TEXAS 79404
Ph. 806-620-2009
Contact: BRIAN KEY

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THE JOHN R. MCADAMS
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TBPE: 19762
JUSTIN L. LANSLOWNE,
P.E. #121990
DATE: 1/25/2023

Drawn By: _____
Date: 01/25/2023
Scale: 1" = 20'
Revisions:

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C3.00

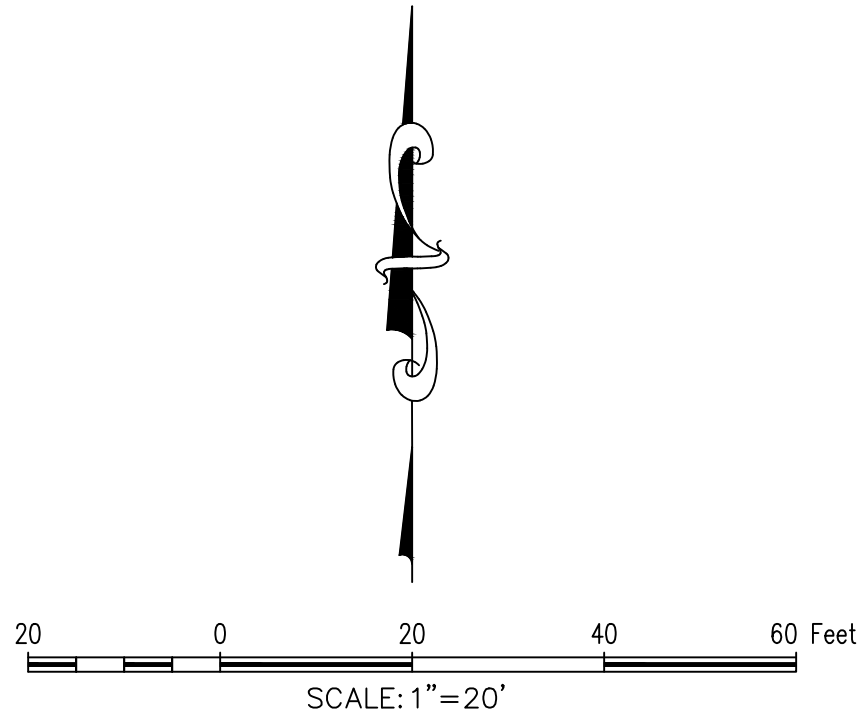
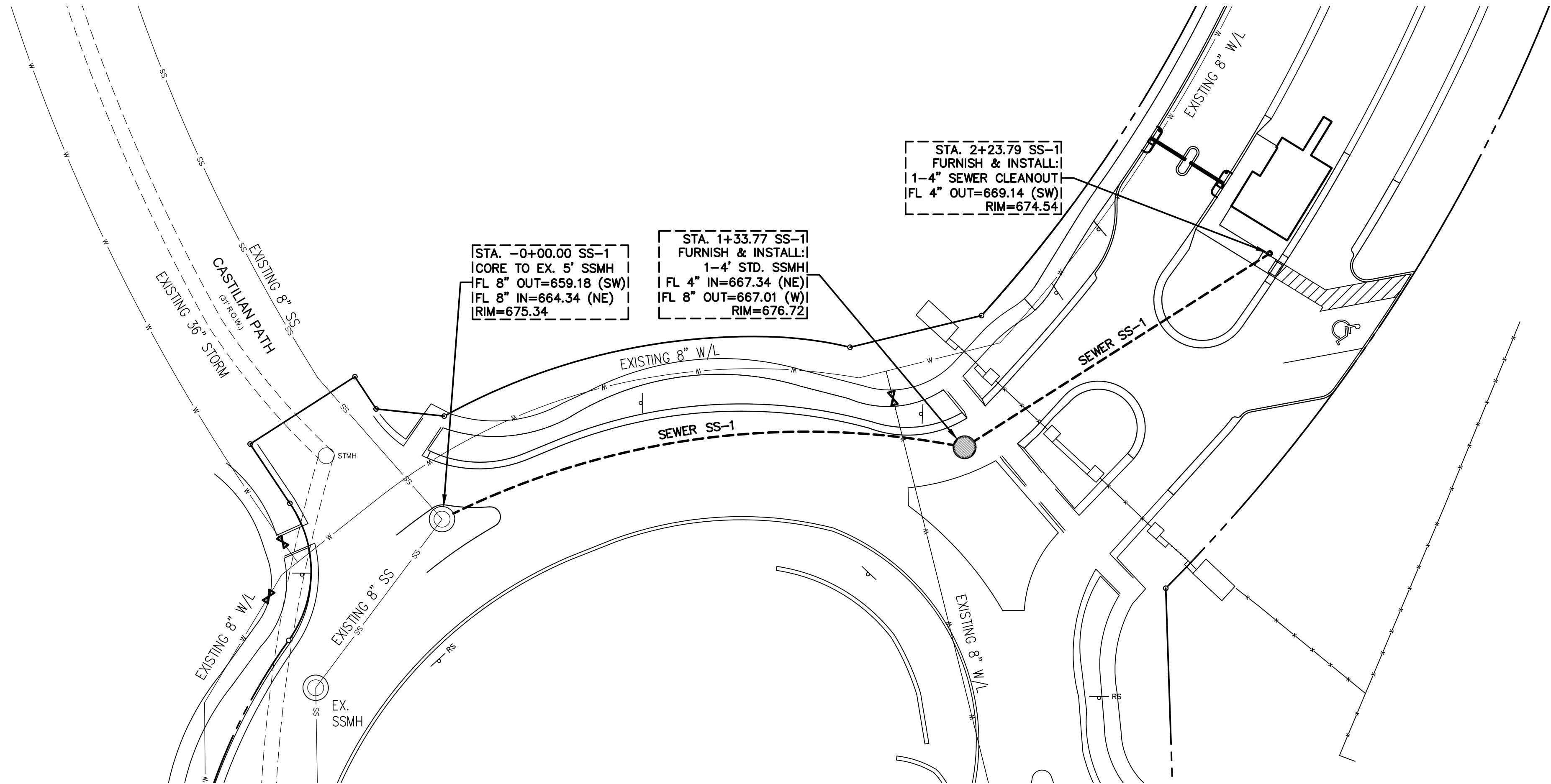
GRANADA GUARD HOUSE
FINAL PLAT
Lot 88X, Block A
4.7258 Acres
in the
C.M. THROOP SURVEY, ABSTRACT NO. 150
TOWN OF WESTLAKE
TARRANT COUNTY, TEXAS



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TBPE: 19762 TBPLS: 10194440
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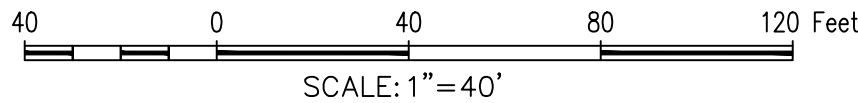
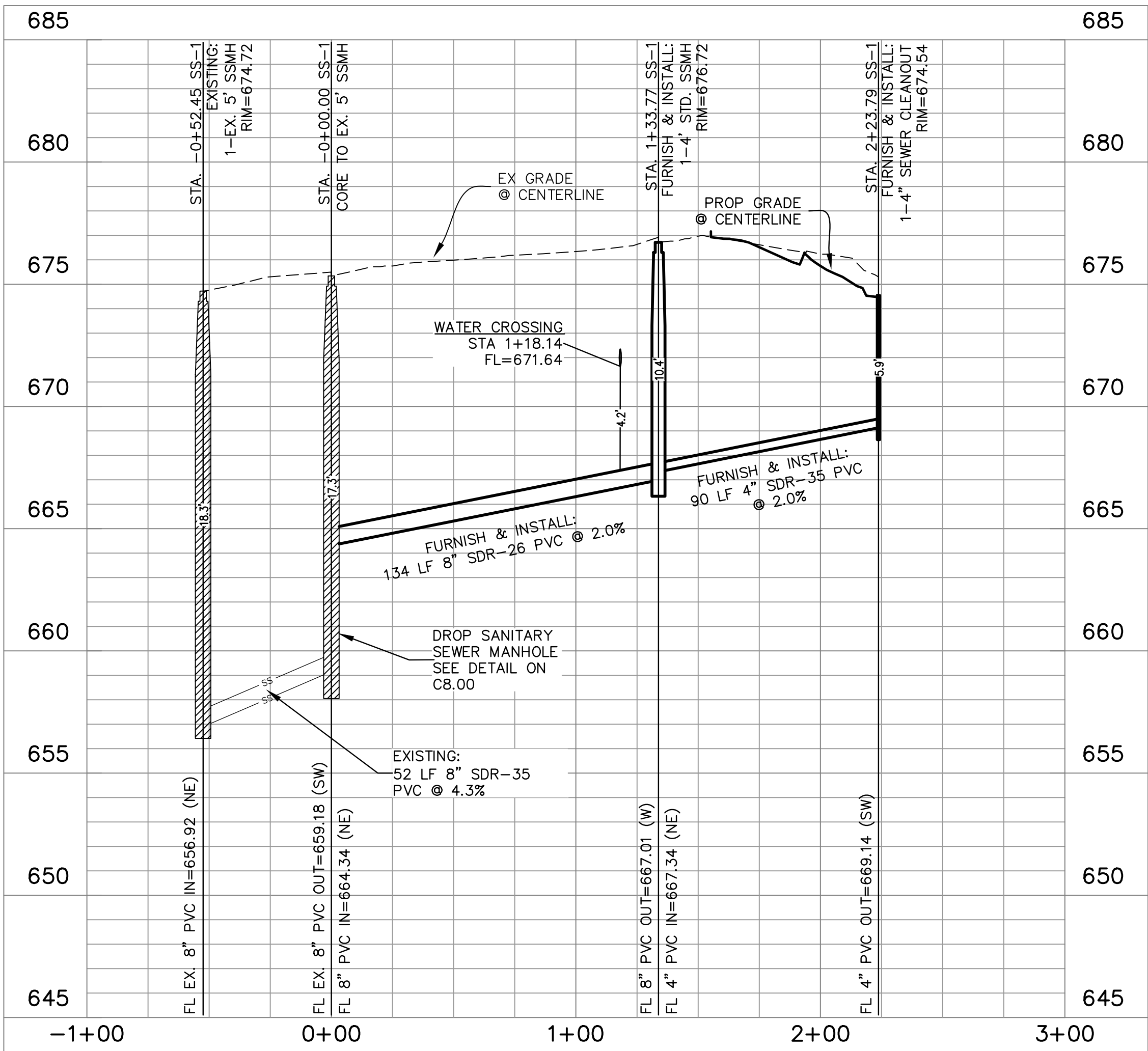
GRANADA GUARD HOUSE

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Author: B. Key
Sheet: 1 of 1



TBM BOX CUT WITH "X" ON THE EASTERN NOSE OF AN EXISTING CONCRETE MEDIAN LOCATED ON SOLANA BOULEVARD 1,415'± EAST OF THE INTERSECTION OF DAVIS BOULEVARD AND SOLANA BOULEVARD, 105'± NORTHWEST OF THE ENTRANCE TO THE GRANADA SUBDIVISION. ELEVATION: 652.70'

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Contact: BRIAN KEY

PRELIMINARY PLANS
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Date: 01/25/2023
Scale: H1"=20' ; V 1"=4'
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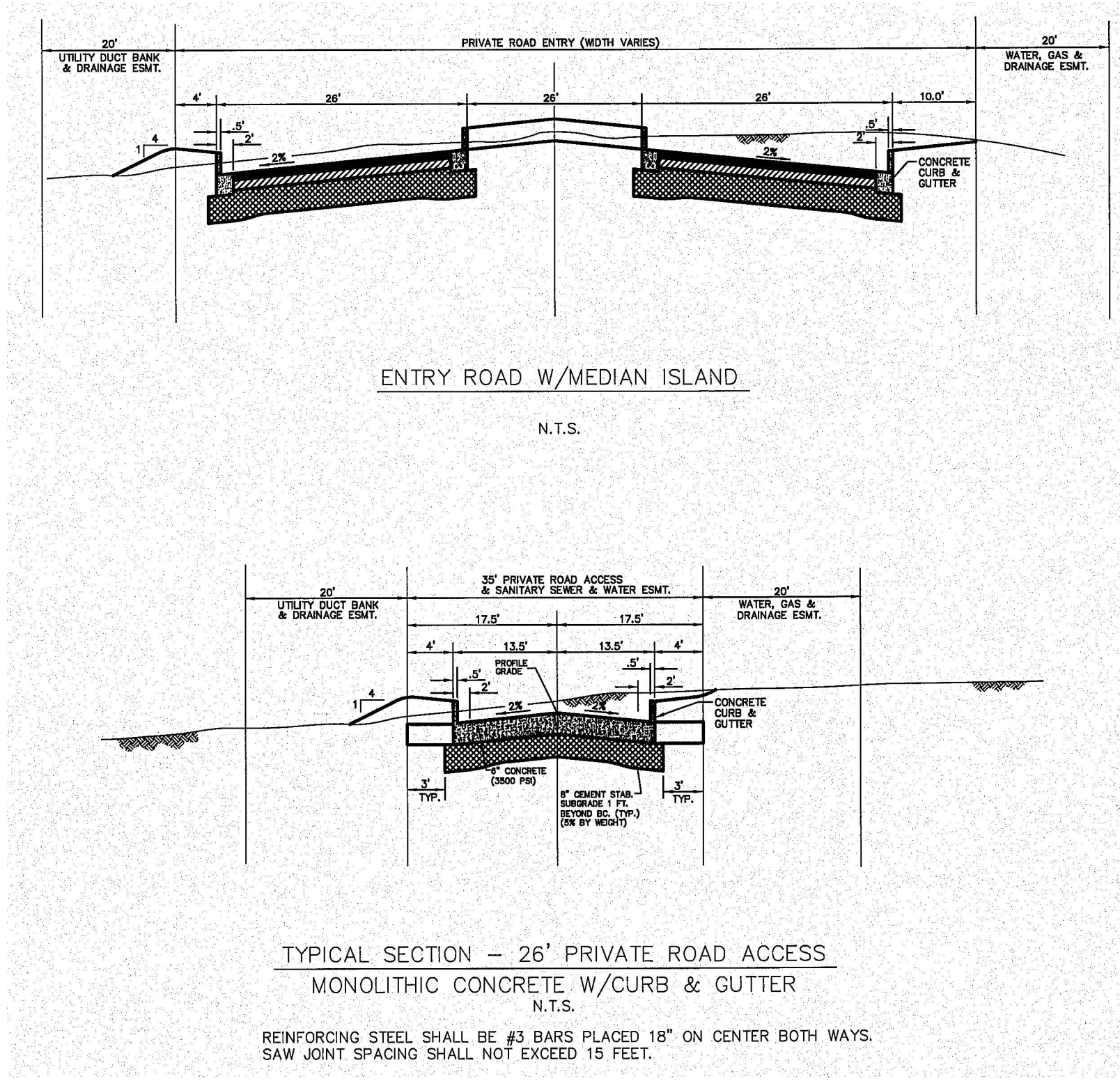
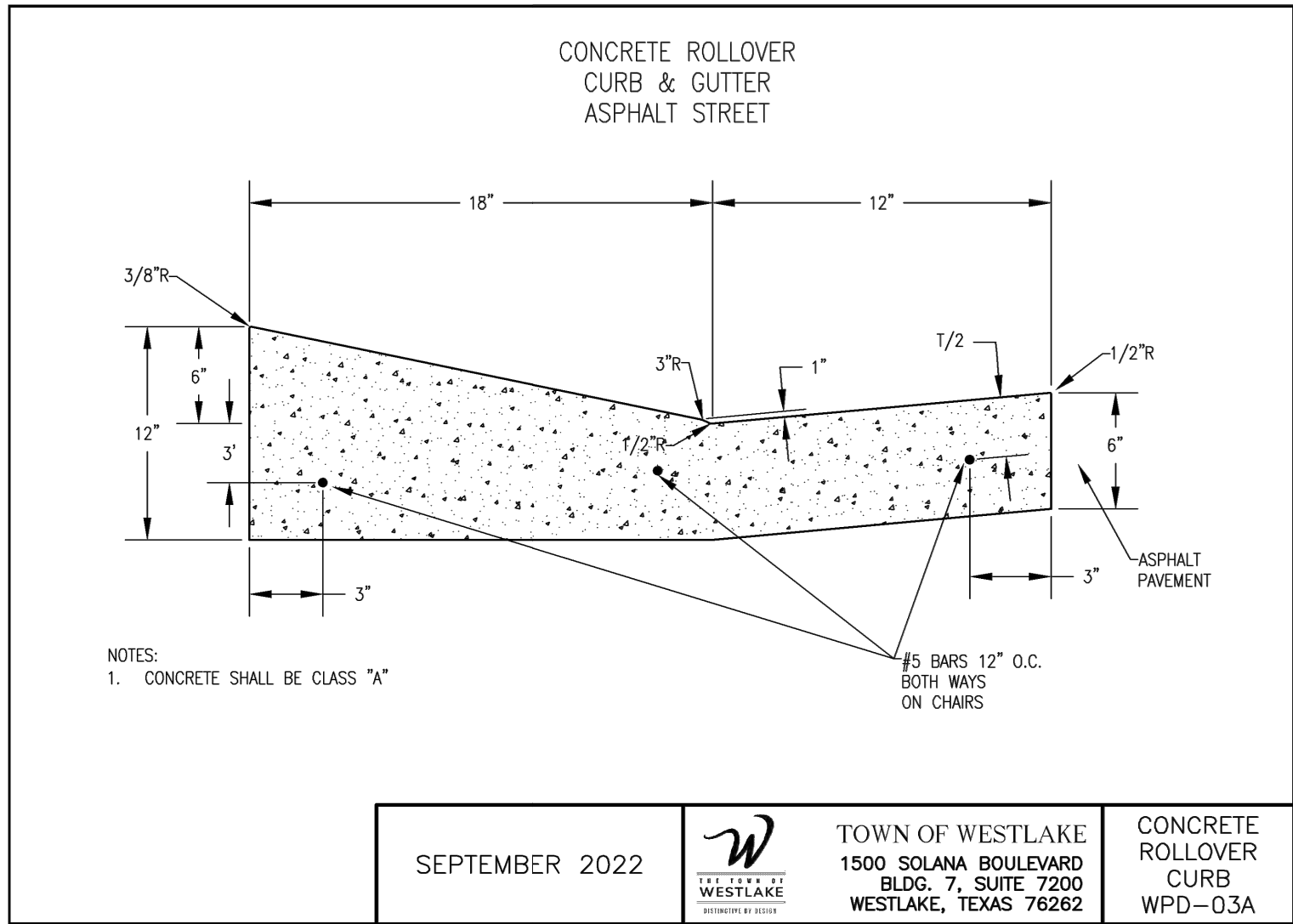
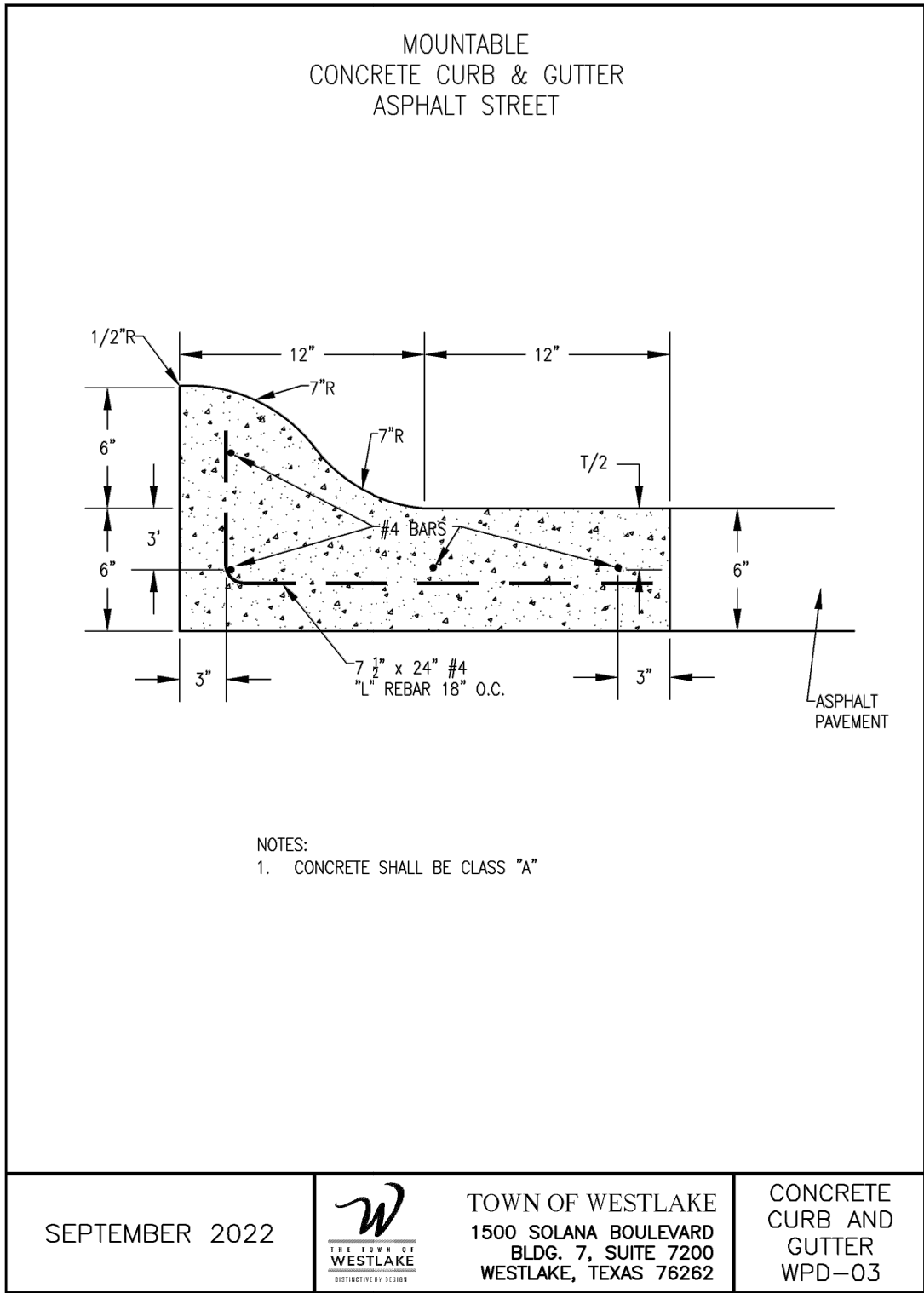
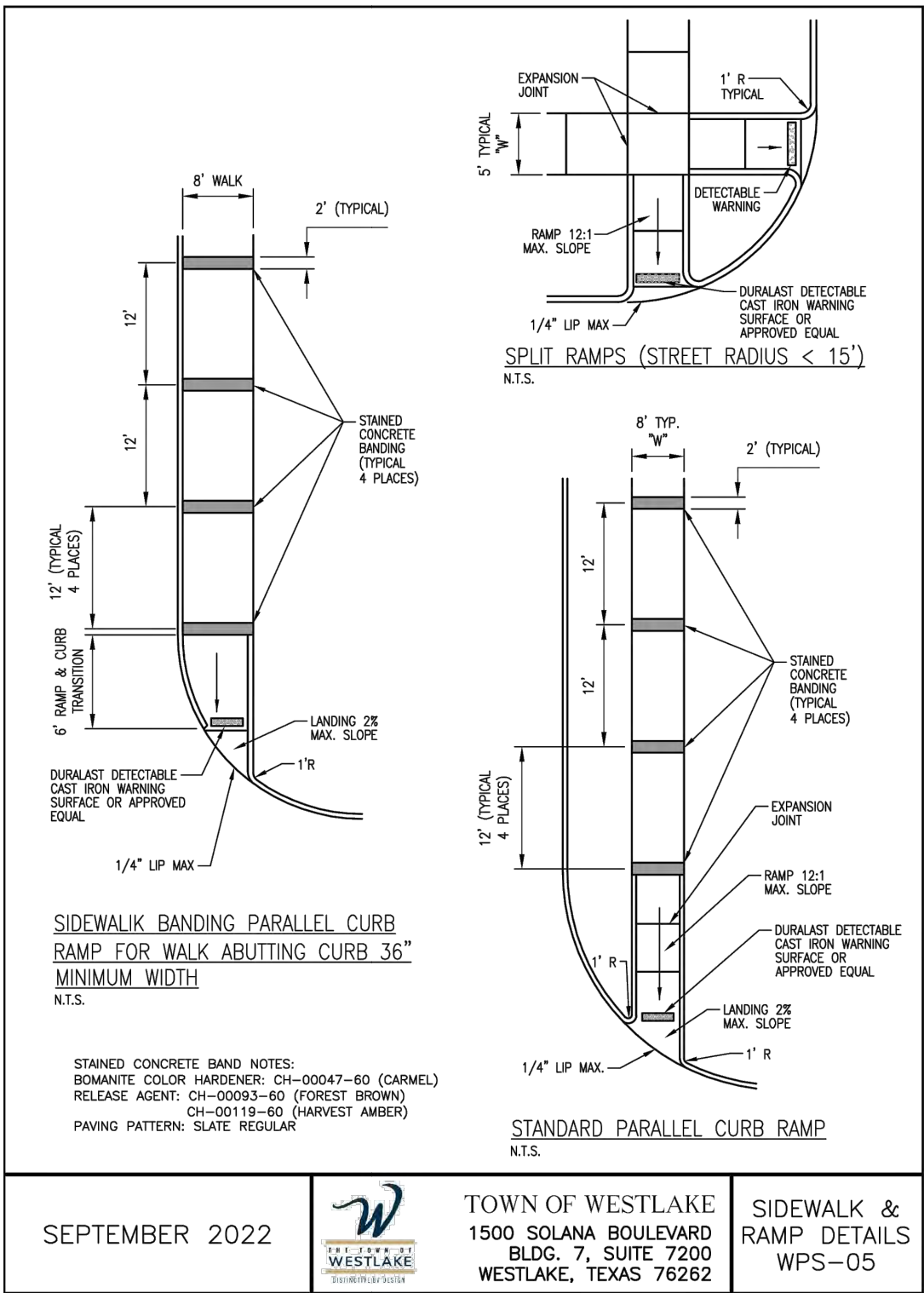
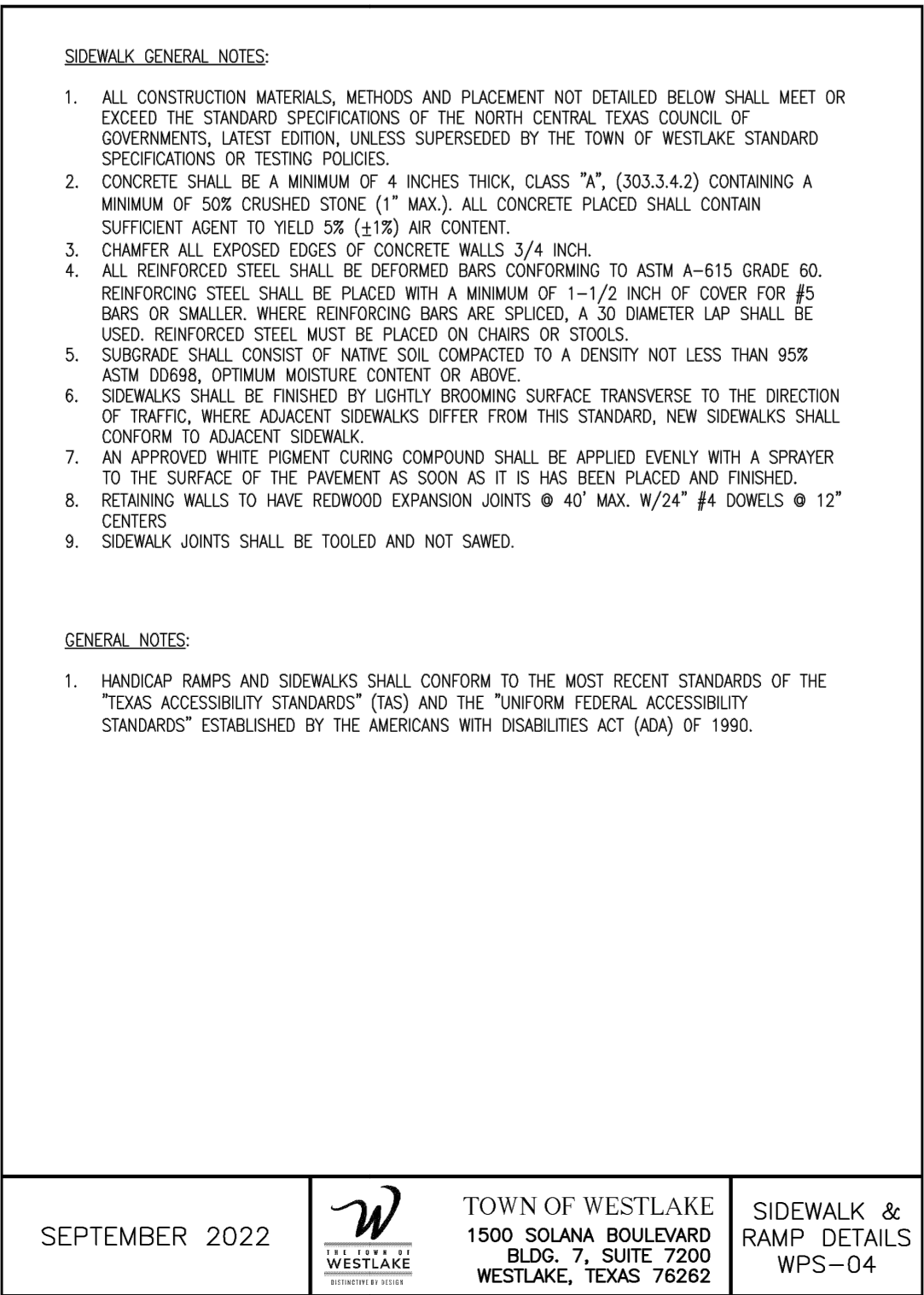
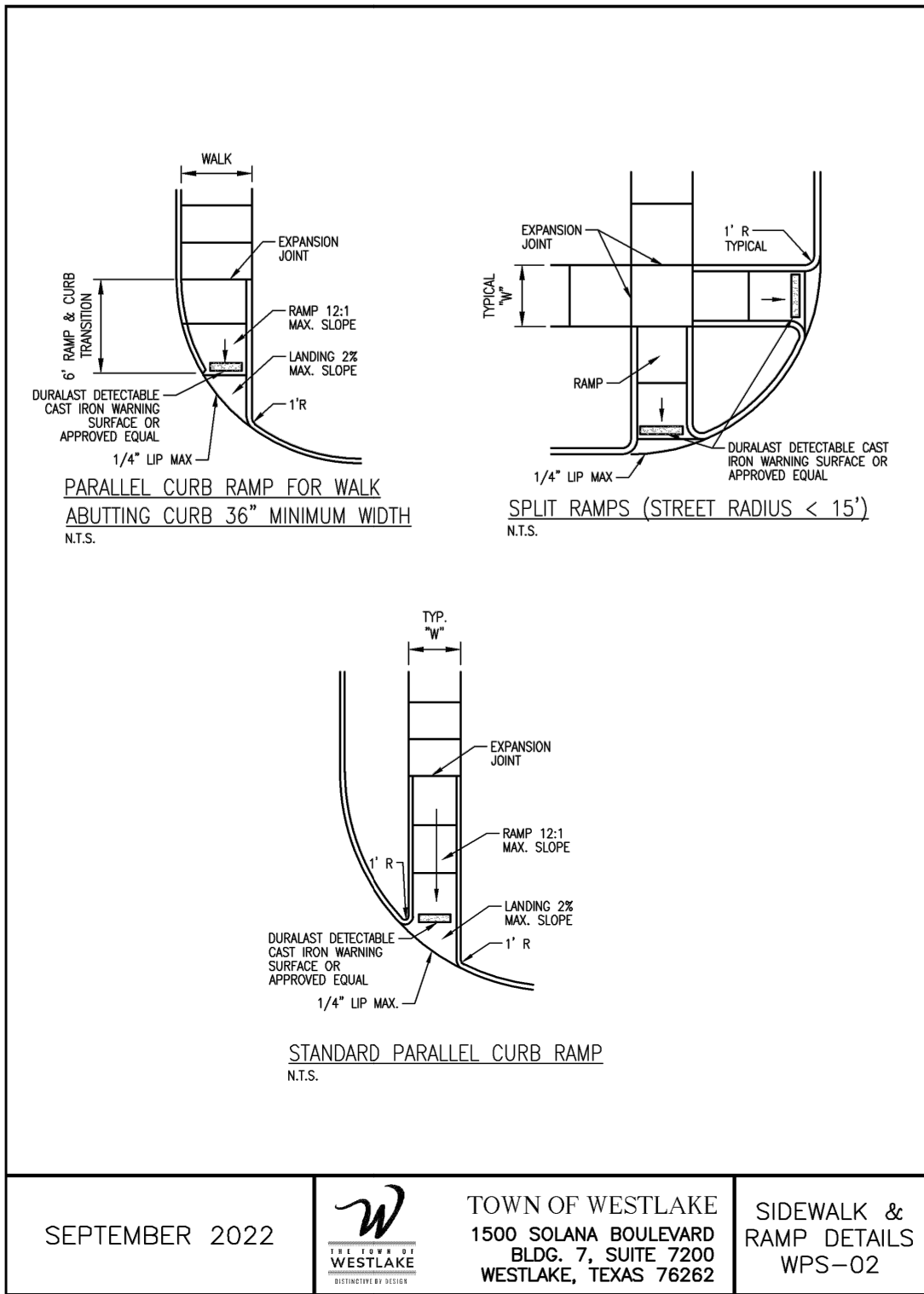
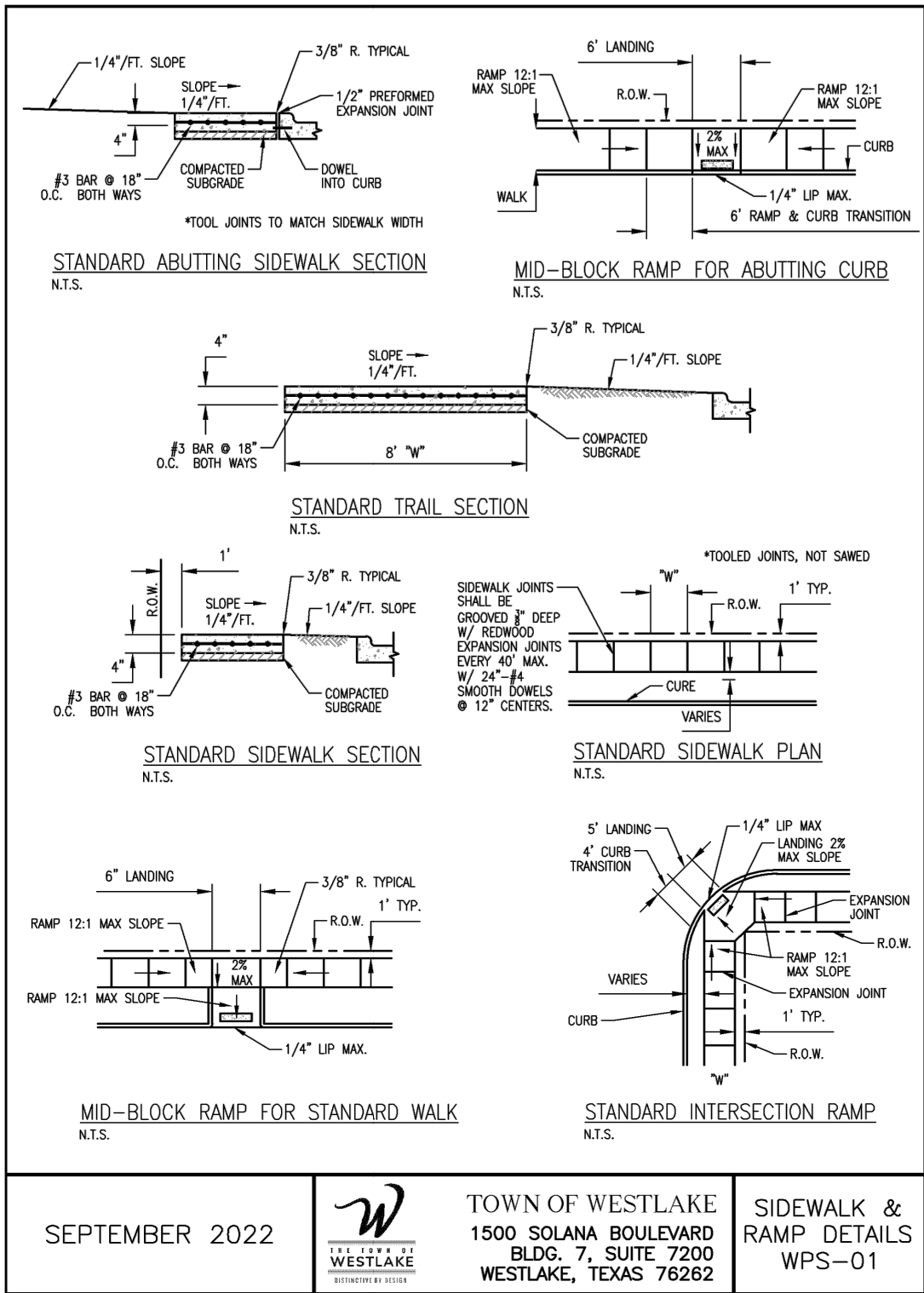
GRANADA GUARD HOUSE
FINAL PLAT
Lot 88X, Block A
4.7258 Acres
in the
C.M. THROOP SURVEY, ABSTRACT NO. 1510
TOWN OF WESTLAKE
TARRANT COUNTY, TEXAS



MCADAMS

The John R. McAdams Company, Inc.
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291 Oak Ridge Road
Roanoke, Texas 76262
940-240-1012
TPE: 19762 TPLS: 10194440
www.mcadamsco.com

GRANADA GUARD HOUSE



OWNER/DEVELOPER
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Ph. 806-820-2008
Contact: BRIAN KEY

GRANADA GUARD HOUSE
FINAL PLAT
Lot 88X, Block A
47,258 Acres
in the
C.M. THROOP SURVEY, ABSTRACT NO. 1510
TOWN OF WESTLAKE
TARRANT COUNTY, TEXAS

STANDARD DETAILS

PRELIMINARY PLANS
THIS DOCUMENT IS FOR INTERIM REVIEW AND IS NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES. THE JOHN R. MCADAMS COMPANY, INC. TBPE: 19762 JUSTIN L. LANSOWNE, P.E. #121990 DATE 1/25/2023

Drawn By: KV
Date: 01/25/2023
Scale: N/A
Revisions:

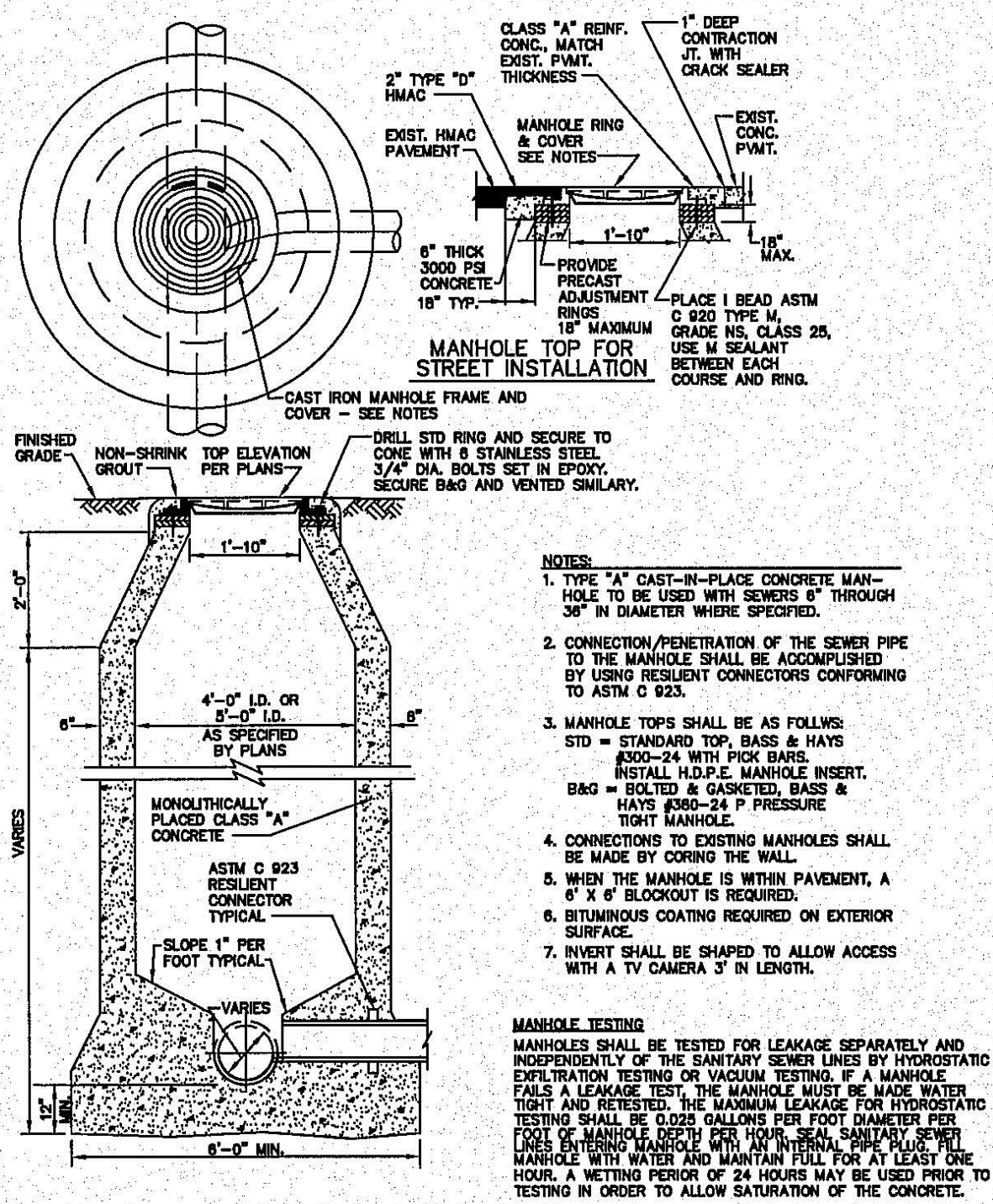
SPEC22347

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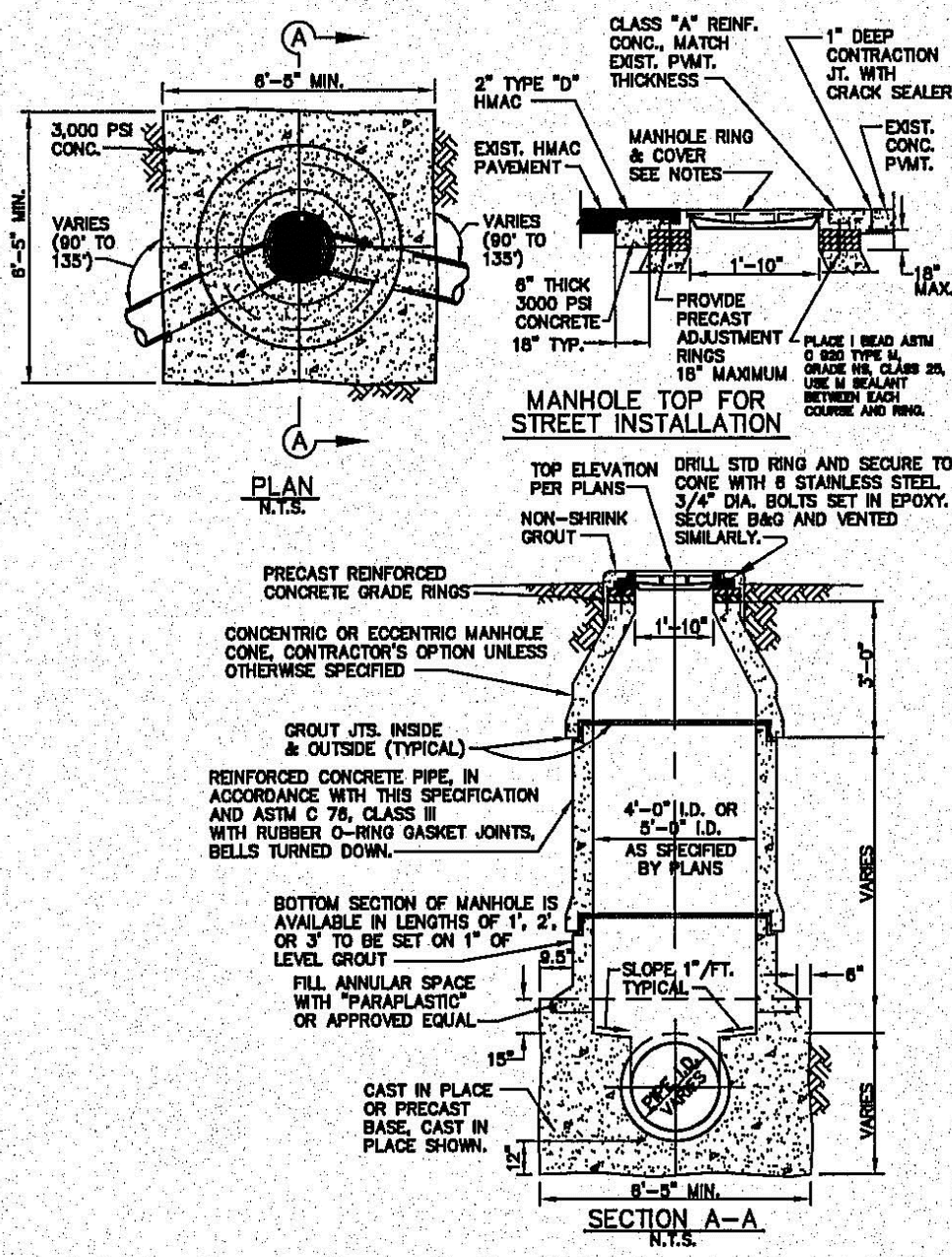


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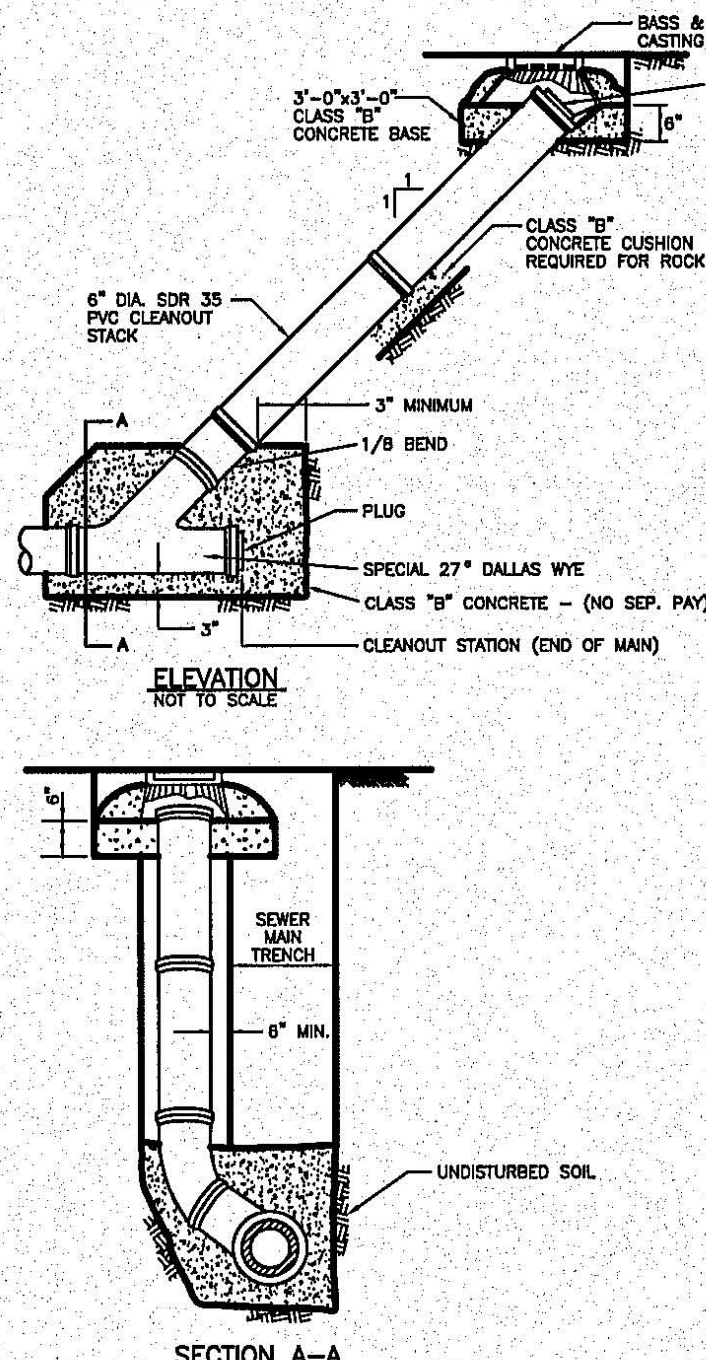
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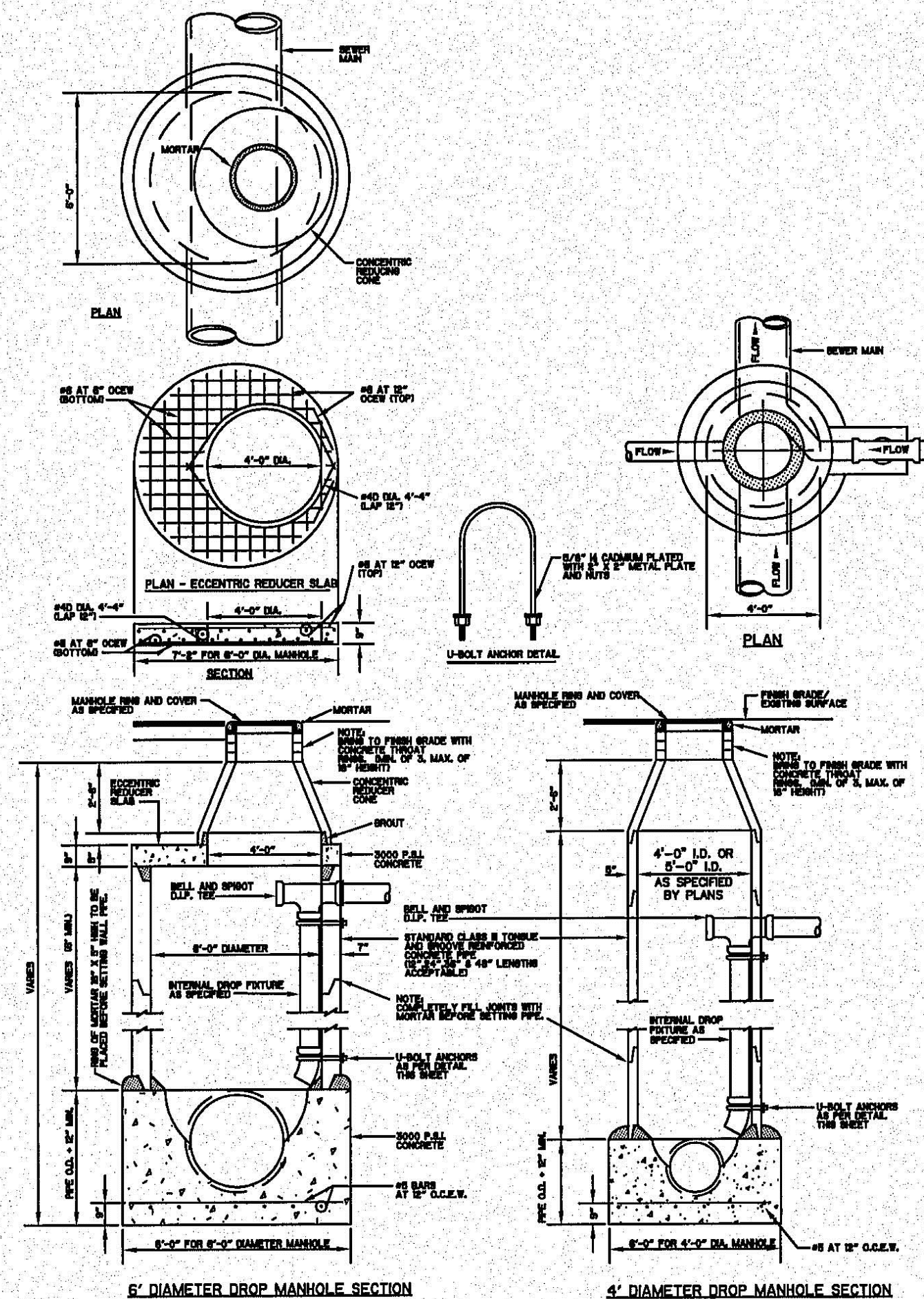
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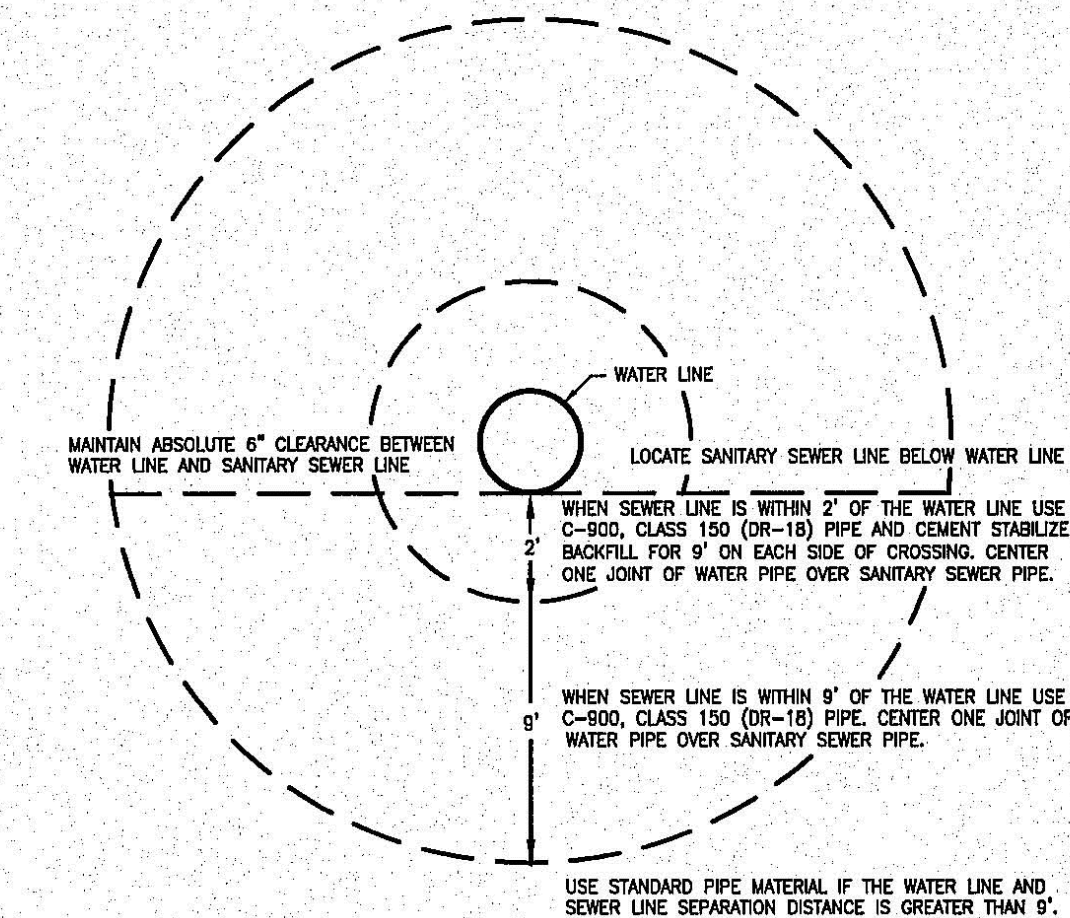
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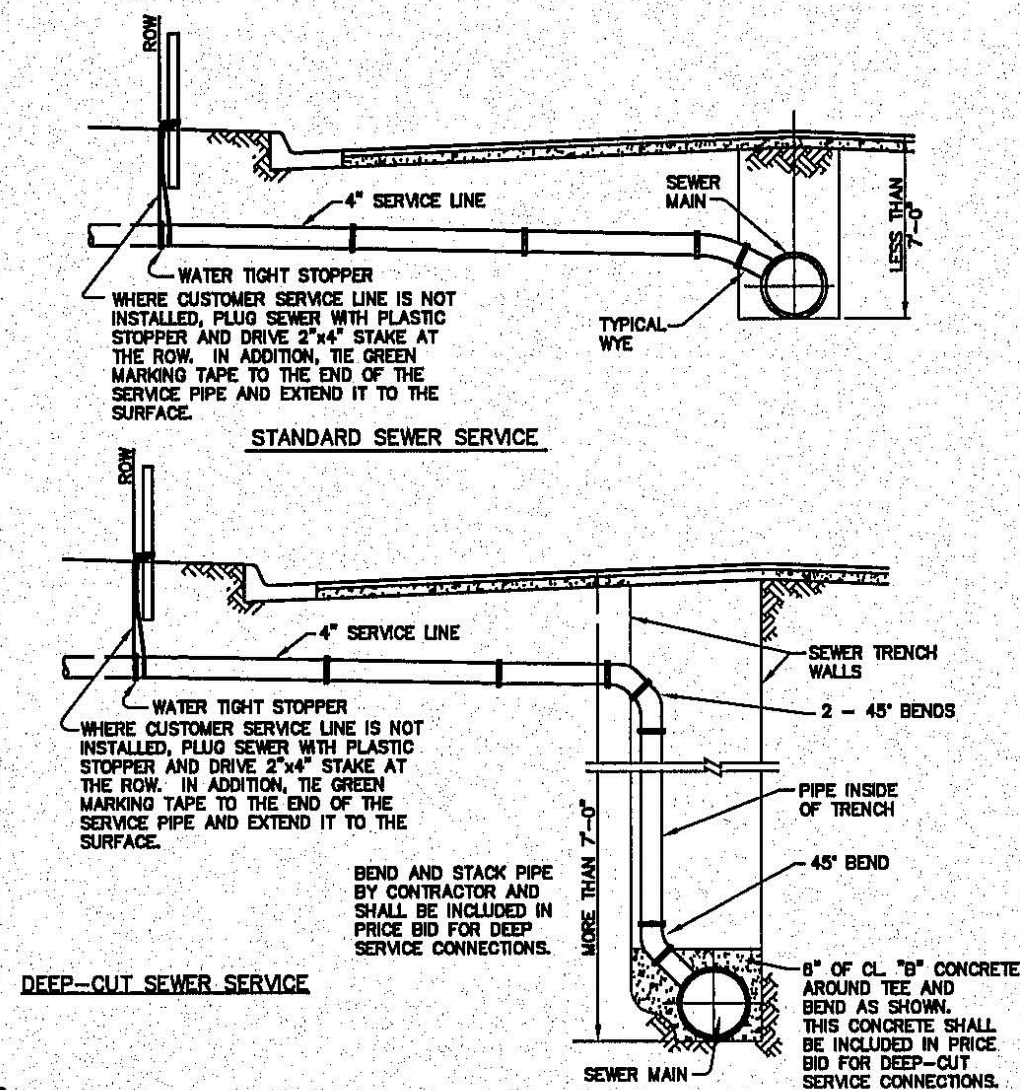
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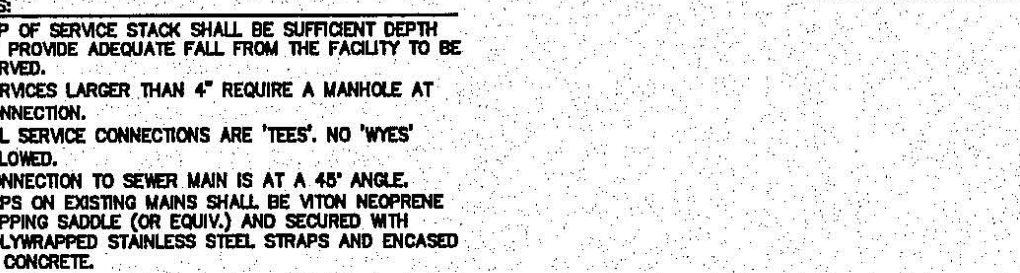
4' AND 6' DROP MANHOLES
(PRECAST WITH POURED IN PLACE BASE)
N.T.S.



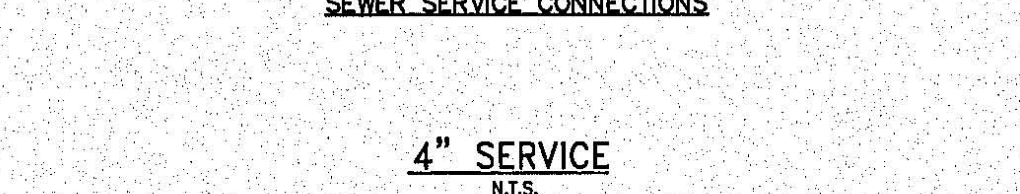
SEPARATION OF NEW WATER AND SEWER LINES
N.T.S.



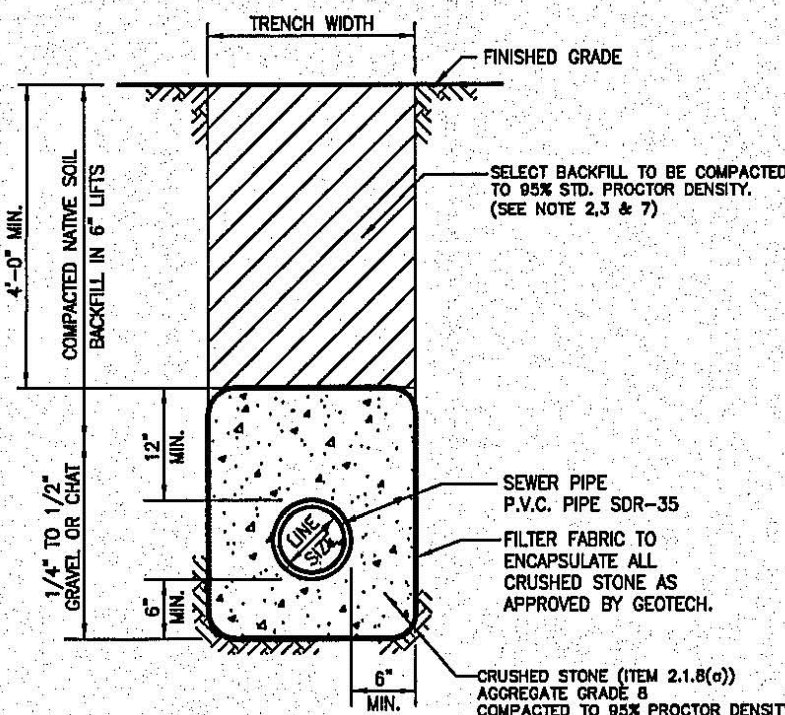
STANDARD SEWER SERVICE



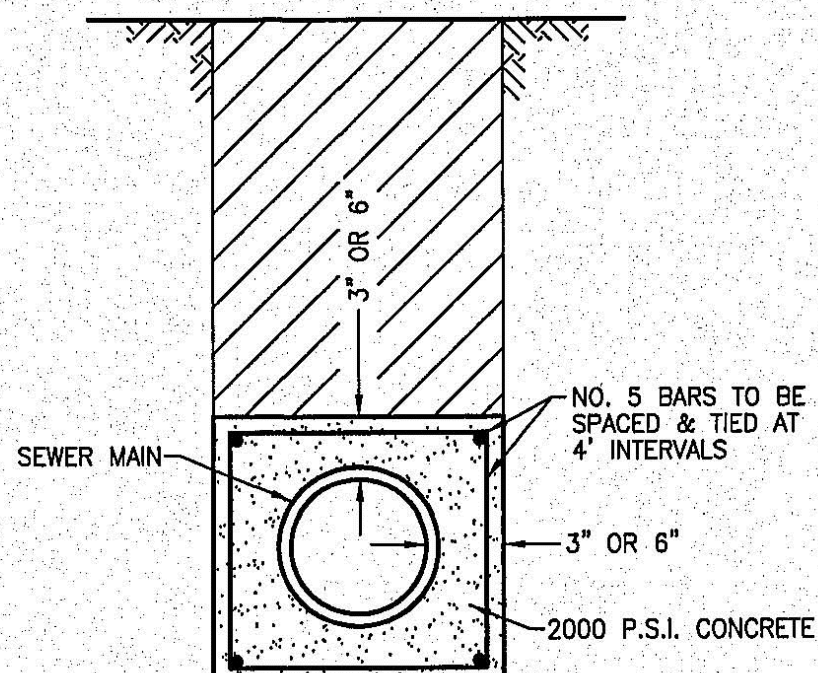
DEEP-CUT SEWER SERVICE



SEWER SERVICE CONNECTIONS
4" SERVICE
N.T.S.



SANITARY SEWER PVC PIPE
BEDDING & BACKFILL
N.T.S.



CONCRETE ENCASEMENT DETAIL
N.T.S.



GRANADA GUARD HOUSE
FINAL PLAN
Lot 88X, Block A
47.88 Acres
in the
C.M. THROOP SURVEY, ABSTRACT NO. 1510
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TARRANT COUNTY, TEXAS

STANDARD DETAILS

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COMPANY, INC.
JBPE: 19762
JUSTIN L. LANSLOWNE,
P.E. #121990
DATE 1/25/2023

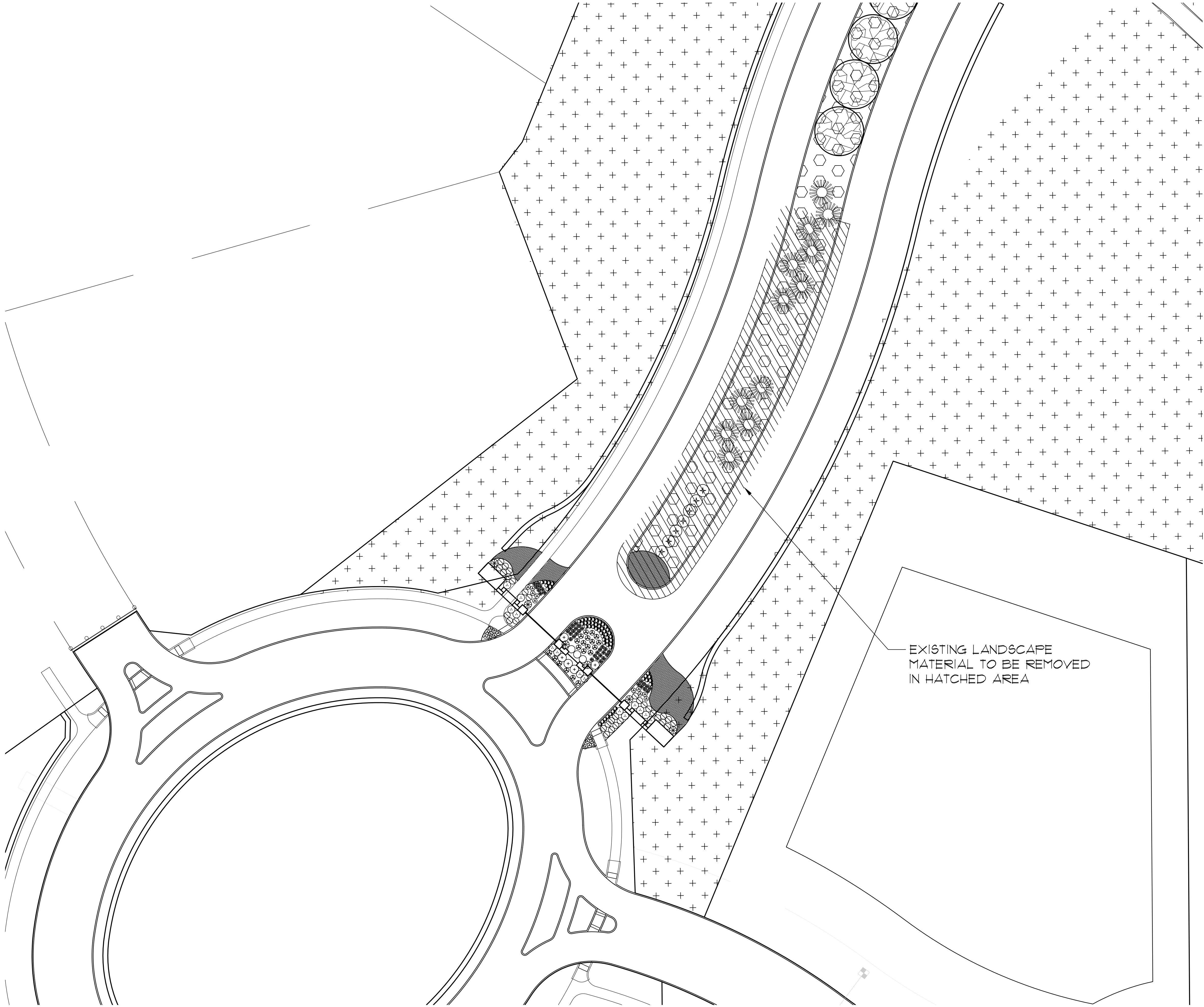
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Date: 01/25/2023
Scale: N/A
Revisions:

SPEC22347

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OWNER/DEVELOPER
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Contact: BRIAN KRY

File: M:\Projects\SPEC\SPEC 2023\SPEC22347 Granada Guard House.dwg (In-Production/Engineering)VP & Cont.
Plot Date: 1/25/2023 2:31 PM
Printed: 1/25/2023 2:31 PM by Kevin No. Scale: 11/25/2023 2:46 PM by briankey



OWNER/DEVELOPER
GREENSTREET
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PRELIMINARY PLANS
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RON STEWART LANDSCAPE ARCHITECT
DATED 1/25/2023

Drawn By: LH
Date: 01/25/2023
Scale: 1" = 40'
Revisions:

SPEC22347

L1.00

DEMO LANDSCAPE PLAN

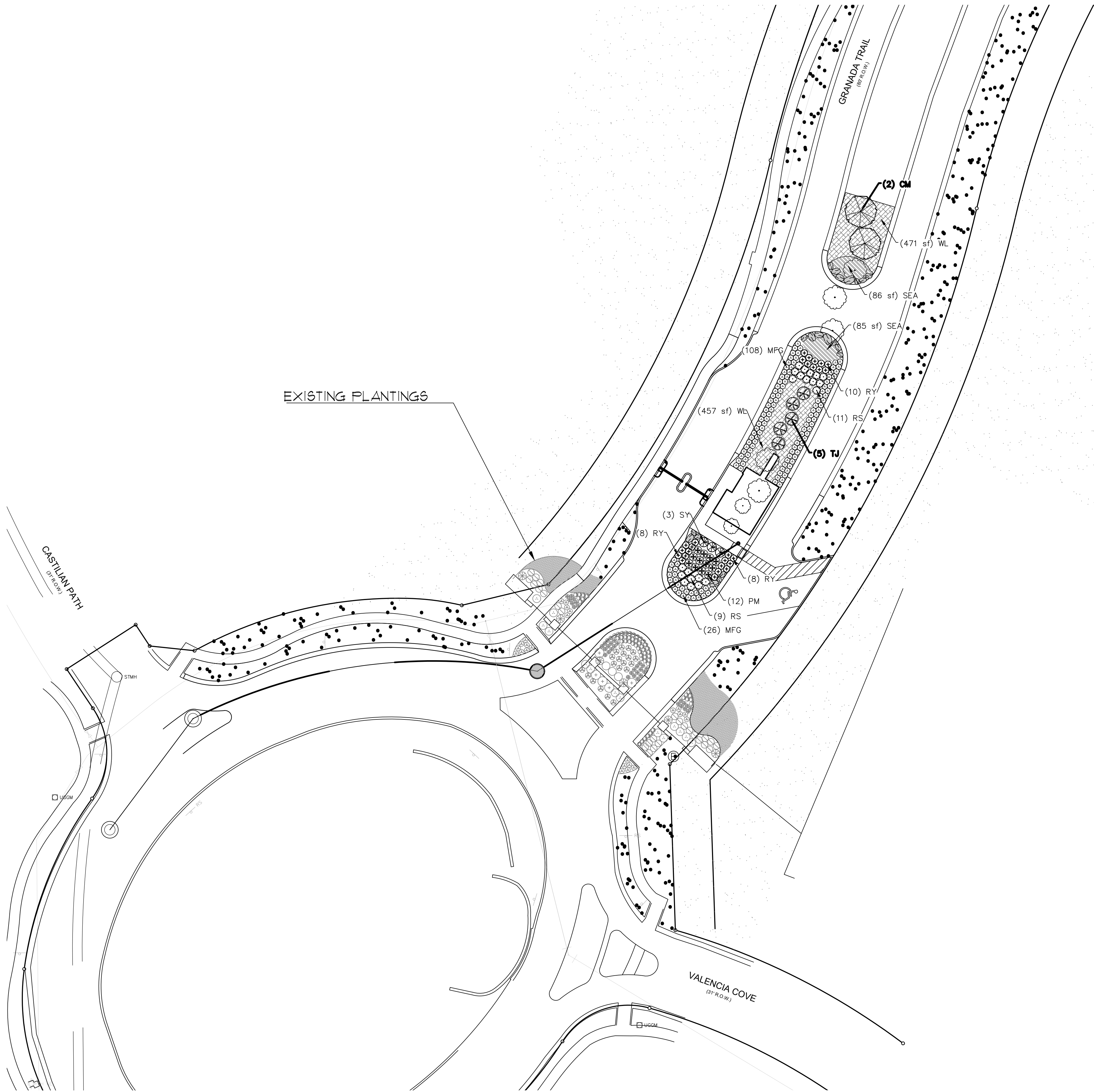
GRANADA GUARD HOUSE
FINAL PLAT
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4.7258 Acres
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McADAMS

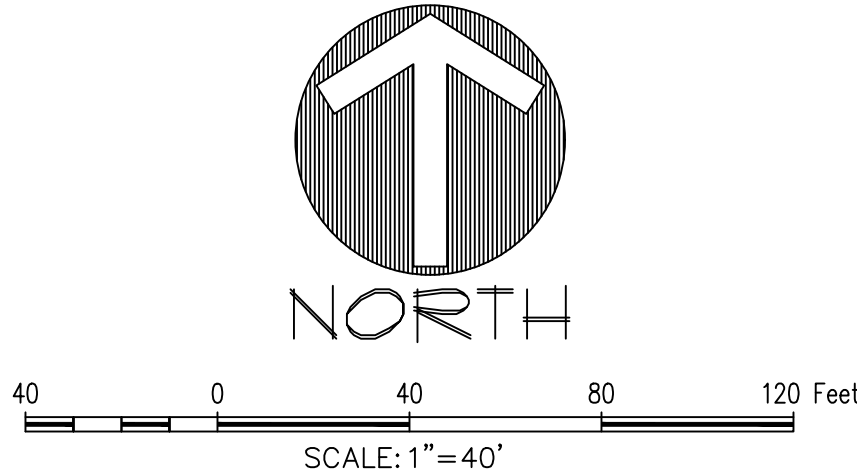
The John R. McAdams
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Round Rock, Texas 76662
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GRANADA GUARD HOUSE



PLANT SCHEDULE

ORNAMENTAL TREES	CODE	COMMON / BOTANICAL NAME
	CM	Grape Myrtle <i>Lagerstroemia indica</i>
	TJ	Taylor Juniper <i>Juniperus virginiana 'Taylor'</i>
SHRUBS	CODE	COMMON / BOTANICAL NAME
	MFG	Mexican Feather Grass <i>Nassella tenuissima</i>
	PM	Pink Muhly <i>Muhlenbergia capillans</i>
	RY	Red Yucca <i>Hesperaloe parviflora</i>
	RS	Russian Sage <i>Perovskia abrotanoides</i>
	SY	Soft Leaf Yucca <i>Yucca pendula</i>
GROUND COVERS	CODE	COMMON / BOTANICAL NAME
	WL	Weeping Lovegrass <i>Eragrostis curvula</i>



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PURPOSES. LANDSCAPE ARCHITECT
RON STEWART LANDSCAPE
DATED 1/25/2023

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GRANADA GUARD HOUSE
FINAL PLAT
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4.7258 Acres
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C.M. THROOP SURVEY, ABSTRACT NO. 1510
TOWN OF WESTLAKE
TARRANT COUNTY, TEXAS

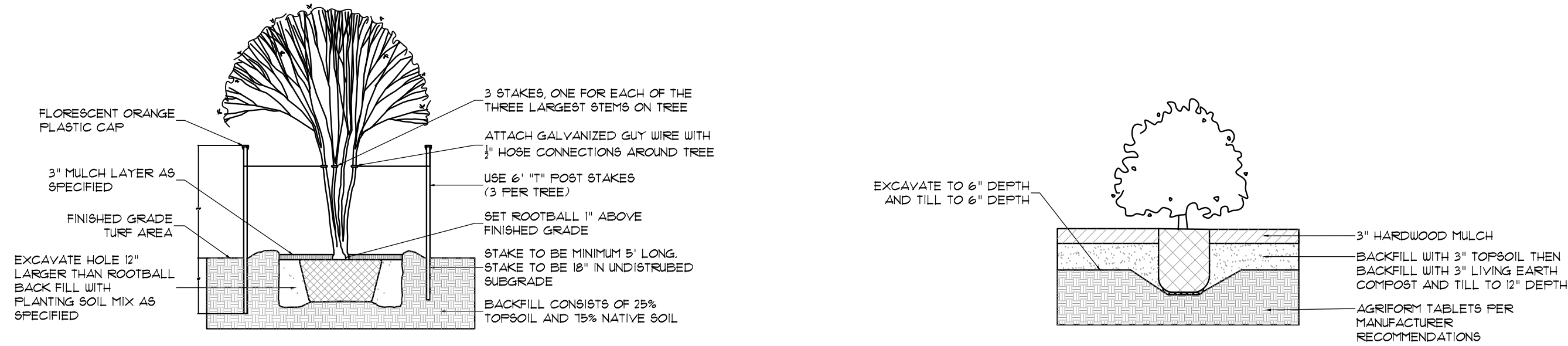
LANDSCAPE PLAN

Drawn By: LH
Date: 01/25/2023
Scale: 1" = 40'
Revisions:

SPEC22347

L2.00

OWNER/DEVELOPER
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Ph. 806-620-2009
Contact: BRIAN KEY



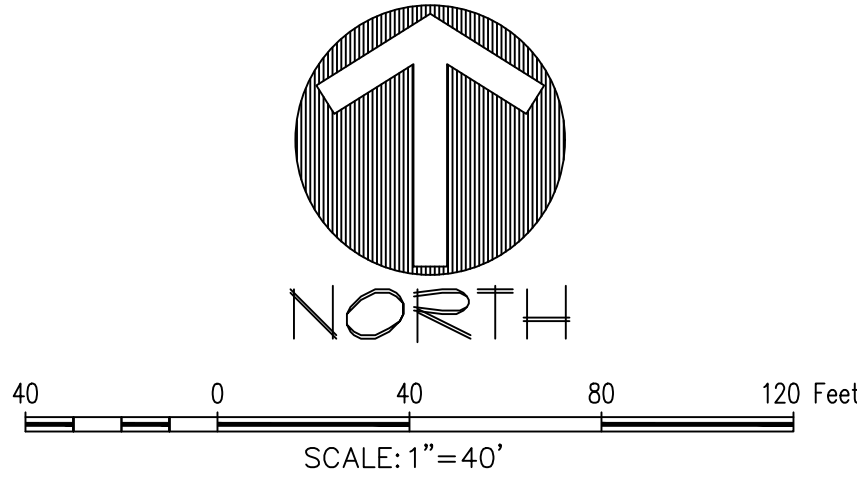
2. MULTI TRUNK TREE STAKING
1/4"=1'

3. SHRUB PLANTING DETAIL
1/2"=1'

LANDSCAPE NOTES:
Town of Westlake

- Plant material shall be measured and sized according to the latest edition of the Texas Nursery and Landscape Association (TNLA) grades and standards.
- All plant beds shall be top-dressed with a minimum of 3 inches of hardwood or other mulch.
- Trees shall be planted at least 4 feet from utility line, curb, walk, fire connection, and outside all utility easements.
- Trees overhanging walks and parking shall have a minimum clear trunk height of 7 ft.
- A visibility triangle must be provided at all intersections. Shrubs are not to exceed 30 inches in height. Trees shall have a minimum clear trunk height of 9 feet.
- The owner, tenant, and/or their agents, if any, shall be jointly and severally shall be responsible for the maintenance, establishment, and permanence of plant material. All landscaping shall be maintained in a neat and orderly manner at all times. This shall include, but not limited to, mowing, edging, pruning, fertilizing, watering, and other activities necessary for the maintenance of landscaped areas.
- All plant material shall be maintained in a healthy and growing condition as is appropriate for the season of the year. Plant material that is damaged, destroyed, or removed shall be replaced with plant material of similar size and variety within 30 days unless otherwise approved in writing by the Town of Flower Mound.
- Before construction, landscape contractor and general contractor shall verify and locate all existing utilities in areas of excavation.
- Please refer to all landscape and irrigation specifications.
- All landscape beds and turf areas to be separated with edging.
- All landscape beds to be 6" below finished floor.
- All hydromulch or sod areas to be brought to +/- 1/4" by site grading contractor. Landscape contractor to bring all areas to final grade and remove all clod, rocks or debris >1" in diameter.
- All landscape to be 100% irrigated. All Irrigation within Drip lines of existing trees to be hand dug, and line to be installed in a radial fashion toward the trunk.
- Please note that the permeable areas under the drip line of specimen and protected trees should be left at natural grade. No cutting or filling are to occur in these areas.
- All areas of grading disturbance are to have grass reestablished at 75% coverage prior to letter of acceptance from the Town of Flower Mound. Means and methods of grass establishment and application of water for grass establishment are at the discretion of the owner and contractor.

PLANT SCHEDULE								
ORNAMENTAL TREES	CODE	QTY	COMMON / BOTANICAL NAME	CAL	HGT	REMARKS		
	CM	2	Crape Myrtle Lagerstroemia indica	20 GAL	7'-8'	PER PLAN		
	TJ	5	Taylor Juniper Juniperus virginiana 'Taylor'	20 GAL	7'-8'	PER PLAN		
SHRUBS	CODE	QTY	COMMON / BOTANICAL NAME	CONTAINER	HEIGHT	SPREAD	REMARKS	
	MFG	134	Mexican Feather Grass Nassella tenuissima	1 gal				
	PM	12	Pink Muhly Muhlenbergia capillaris	3 gal	18"	3'-0"	XERI	
	RY	26	Red Yucca Hesperaloe parviflora	3 gal	12"	3'-0"	XERI	
	RS	21	Russian Sage Perovskia abrotanoides	3 gal				
	SY	3	Soft Leaf Yucca Yucca pendula	5 gal	18"		PER PLAN	XERI
GROUND COVERS	CODE	QTY	COMMON / BOTANICAL NAME	CONT	HEIGHT	SPREAD		
	WL	928 sf	Weeping Lovegrass Eragrostis curvula	3 gal				



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GRANADA GUARD HOUSE

GRANADA GUARD HOUSE
FINAL PLAT
Lot 88X, Block A
4.7258 Acres
in the
CM. THROOP SURVEY, ABSTRACT NO. 1510
TOWN OF WESTLAKE
TARRANT COUNTY, TEXAS

LANDSCAPE DETAILS



Drawn By: LH
Date: 01/25/2023
Scale: 1"=40'
Revisions:

SPEC22347

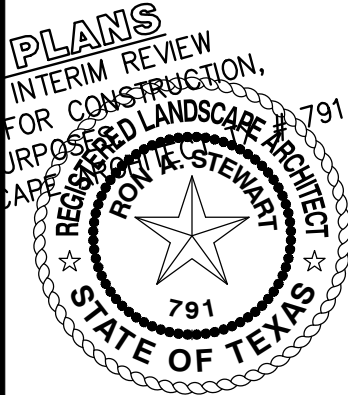
L3.00

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LUBBOCK, TEXAS 79404
Ph. 809-620-2009
Contact: BRIAN KEY

IRRIGATION
FORTHCOMING

OWNER/DEVELOPER
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Contact: BRIAN KEY

PRELIMINARY PLANS
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RON STEWART LANDSCAPE ARCHITECT
DATED 1/25/2023



Drawn By: LH
Date: 01/25/2023
Scale: #####
Revisions:

SPEC22347

L4.00

IRRIGATION

GRANADA GUARD HOUSE
FINAL PLAT
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McADAMS

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TBP# 18762 TBP# S. 10194440
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LANDSCAPE SPECIFICATIONS

PART I - GENERAL CONDITIONS

QUALITY ASSURANCE

- Comply with applicable Federal, state, county and local regulations governing landscape materials and work.
- Employ only experienced personnel familiar with required work. Provide adequate supervision by qualified foreman.
- Substitutions: Do not make substitutions of tree and shrub materials. If required landscape material is not obtainable, submit proof of nonavailability to owner's representative, together with proposal for use of equivalent material.
- Provide quantity, size, genus, species and variety of trees, shrubs, and groundcover indicated and scheduled for landscape work and complying with applicable requirements of ANSI Z601, "American Standard for Nursery Stock".
- Measurements: Take caliper measurements 6" above ground for trees. Measure main body of tree or shrub for height and spread dimensions, do not measure from branch or root tip-to-tip.
- Intent of Drawings and Specifications: It is the intent of the drawings and specifications to provide planting with plants in vigorous growth, ready for owner's use. Any items not specifically shown in the drawing or called for in the specifications, but normally required to conform with such intent, are to be considered as part of the work.

JOB CONDITIONS

- Timing Coordination with Irrigation System: The underground irrigation system must be installed and fully operational prior to commencement of planting operations. Report potential conflicts with the irrigation system to the owner's representative.
- In order to minimize conflict, secure location of all underground utility lines and other structures.

LANDSCAPE WARRANTY

- Upon written acceptance following "Substantial Completion Inspection", warranty trees, shrubs, groundcover and turf for a period of one year, against defects including death and unsatisfactory growth, but excepting defects resulting from neglect by owner, abuse or damage by others, or unusual phenomena or incidents which are beyond landscape installer's control.
- At the end of the warranty period, or any time during the warranty period, all dead plants, and all plants not in a healthy thriving growing condition, as determined by owner's representative, shall be replaced as soon as weather conditions permit at no cost to owner.
- Damage to lawns or planting during the replacement shall be repaired without cost to owner.

PART II - PRODUCTS:

GENERAL

- Provide nursery grown trees, shrubs and groundcover, except as otherwise indicated, grown in a recognized nursery in accordance with good horticultural practice, with healthy root systems developed by transplanting or root pruning.
- Provide only healthy stock to be free of disease, insects, eggs, larvae, and defects such as knots, sunscald, injuries, abrasions, or disfigurement.
- Provide trees, shrubs, and groundcover of the sizes indicated in planting lists, on designs and in accordance with dimensional relationship requirements of ANSI Z601 for kind and type of plant material required.

BALLED AND BURLAPPED STOCK

- Where indicated to be balled and burlapped, provide trees and shrubs dug with a firm, natural ball of earth in which they are grown.
- Provide ball size of not less than diameter and depth recommended by ANSI Z601 for type and size of tree or shrub required. Increase ball size or modify ratio of depth to diameter as required to encompass fibrous and feeding root system necessary for full recovery of trees and shrubs subject to unusual or non-typical conditions of growth, soil conditions or horticultural practices.

CONTAINER GROWN STOCK

- Where specified as acceptable, provide healthy, vigorous, well-rooted trees or shrubs established in container in which they are sold.
- Established container stock is defined as a tree or shrub transplanted into container and grown in container for a length of time sufficient to develop new fibrous roots, so that root mass will retain its shape and hold together when removed from container.
- Use rigid container that will hold ball shape and protect root mass during shipping. Provide trees and shrubs established in containers of not less than minimum sizes recommended by ANSI Z601 for kind, type and size of plant material required.

SOIL UPGRADE

- Composted Soil Conditioner: As provided by Living Earth, or approved equal, either in bag or bulk condition. Approved equal must be in writing with attached spec. sheet and soil analysis.
- Topsoil:
 - Natural, fertile, friable soil, possessing characteristics of representative productive soils in the vicinity.
 - Obtain topsoil from natural, well drained areas. Topsoil shall not be stripped, collected or deposited while wet.
 - Topsoil shall be free of growth of reproductive parts of weeds, and free of subsoil, stones, stumps, roots or similar substances.

MULCH

- Double shredded hardwood mulch free of sticks, dirt and other debris.

STEEL EDGING

- Use 1/8" thick, 4" wide, in 10' or 16' sections, with integrated stakes. Factory finished in green. As manufactured by Ryerson Steel Products, or approved equal. Separate all bed and grass edges.

PART 3 - EXECUTION:

EXCAVATION

- Excavate pits and beds with vertical sides and with bottom of excavation slightly raised at center to provide proper drainage. Loosen hard sub soil in bottom of excavation.
- Dispose of subsoil removed from landscape excavations. Do not mix with planting soil or use as back fill unless otherwise indicated.
- If rock, underground construction, or other obstructions are encountered for planting trees or shrubs, notify owner's representative. New locations may be selected by representative.

SHRUB INSTALLATION

- Bed preparation: Excavate bed area to 6" depth. Then till bed area to 6" depth. Back fill with 3" approved topsoil and then back fill with 3" Living Earth Compost. Roto-till thoroughly until a homogeneous mixture is achieved to a full depth of 12". Note: Living Earth "Ready Mix" may be substituted for topsoil and Compost. Install at 6" depth. Till to 12" depth.
- Carefully insert plants into prepared soil beds at slightly above finished grade. When all plants are in place, rake the entire area smooth. Water and allow to soak away. After settlement, add soil necessary to finish grade and water again.
- Top dress with 3" double shredded hardwood mulch

TREES

- Excavate tree pits a minimum of 3" deeper than the root ball. Minimum diameter of these pits shall be one foot greater than the ball, container, or spread of roots.
- Set balled and burlapped stock on layer of compacted soil, plumb and in center of pit with top of ball at same elevation as adjacent finished landscape grades. Do not use stock if ball is cracked or broken before or during planting operation.
- When set, place additional back fill around base and side of ball, and work each layer to settle back fill and eliminate voids and air pockets. When excavations is approximately 2/3 full, water thoroughly before placing remainder of back fill. Repeat watering until no more water is absorbed. Water again, after placing final layer of back fill and mounded soil tree ring. Cover entire mounded soil tree ring with 3" of hardwood mulch.
- Trees outside bed areas will be back filled with 50% native soil and 50% top soil thoroughly mixed.

PRUNING

- Prune, thin out and shape trees and shrubs in accordance with standard horticultural practice.
- Prune trees to retain required height and spread. Unless otherwise directed by owner's representative, do not cut tree leaders, and remove only injured or dead branches from flowering trees, if any.
- Prune shrubs to retain natural character. The required shrub size indicated on the design is the size the plant is to be upon completion of the pruning process.

STAKING

- Tree staking method and need is as per landscape contractor. Lack of specified staking method or requirement in no way relieves the contractor of full plant warranty.

SODDING

- General: Equipment necessary for the proper preparation of the ground surface and for handling and placing all required materials shall be on hand, in good condition, and shall be approved before the work is started.
- Tillage: The areas to be sodded shall be thoroughly tilled adding and 20-10-5 fertilizer at the rate of 1 lb./100 sq. ft. to a depth of at least 4 inches by plowing, disking, harrowing, or other approved methods until the condition of the soil is acceptable to the owner's representative. The work shall be performed only during periods when beneficial results are likely to be obtained.
- Final grading: Prior to sodding, the surface shall be raked and cleared of all stones, stumps, or other objects larger than 1/2" in diameter.
- Watering: Contractor shall water sod immediately after transplanting. As sodding is completed in any one section, the entire area shall be rolled. It shall then be thoroughly watered to a depth sufficient that the underside of the new sod pad and the upper 4 inches of topsoil are thoroughly wet.

CLEAN UP

- Remove all debris resulting from each stage of landscape operations at the time it occurs and dispose of such debris off of the owner's property.
- Leave all affected pavements and walks in "broom clean" condition, washing if necessary, after each landscape maintenance operation.

IRRIGATION SPECIFICATIONS

PART I - GENERAL

SCOPE OF WORK

- Provide a complete and operating lawn sprinkler installation as shown on the plans including, but not limited to, the following items:
- Pipe and fittings.
 - Sprinkler heads.
 - Control system and connection to electrical supply.
 - Trenching, installation of system, connection to water source, testing, and backfilling.

GENERAL CONDITIONS SPECIFICALLY FOR LANDSCAPE IRRIGATION

- The Contractor will flag the location of all heads, electric valves, quick coupler valves, gate valves, automatic controllers, backflow preventors, etc. prior to construction for the representative's approval. The Contractor shall report to the representative any deviations between the irrigation plan, specifications, and the site. Failure to do so prior to the installation of the equipment (which subsequently requires replacement or relocation of the equipment) will result in the work being done at the Contractor's expense.
- All local, municipal and state laws, ordinances, codes and regulations relating to, or governing any portion of this work are hereby incorporated into and made a part of these specifications and will be carried out by the Contractor. The Contractor must have a valid license, as issued by the Texas Board of Irrigators, must carry sufficient insurance coverage, and must be active in Irrigation Installation for a minimum of 5 years.
- Any permits needed for construction of the work included in this contract, which is required by any legally constituted authority having jurisdiction, shall be obtained by the Contractor. The Contractor shall pay for all costs in connection with any inspections or examinations required by these authorities. The representative will be notified when these inspections are required. Any necessary work needed to be done by the Contractor as a result of these inspections will be performed at the Contractor's expense. Copies of all permits and inspections reports shall be forwarded to the representative.

GUARANTEE AND MAINTENANCE

- Material and workmanship shall be fully guaranteed for one year after the date of Substantial Completion Inspection; replacement of defective material or repair of work shall be done at no expense to the owner during the first year, except for repairs or replacements necessitated by damage of any kind not of the Contractor's making. Any reimbursement for repairs must have prior approval of the representative.

SUBSTITUTIONS

- The sprinkler system has been designed according to the operating characteristics of the specified equipment. Therefore, no substitutions of equipment will be allowed except with written approval.

PART 2 - PRODUCTS

POLYVINYL CHLORIDE PIPE

- Polyvinyl chloride pipe (hereinafter referred to as PVC pipe) shall have been manufactured in accordance with the Product Standards as follows: Product Standard PS-22-10 shall apply and be the governing authority as applicable to main line piping and shall be SDR-21 (Class 200) specification. 2 1/2" and smaller main line and lateral line piping will be solvent weld joints.

PIPE FITTINGS

- 2 1/2" and smaller pipe fittings shall be PVC Schedule 40, as manufactured by the Lasco Company, or equal. All PVC fittings shall be of the same material as the PVC pipe specified and shall be compatible with the PVC pipe furnished. Only solvent recommended by the manufacturer of the PVC pipe and the manufacturer of the PVC fittings shall be used.

WIRE

- All valve wiring shall be 14 gauge copper single-conductor wire with 4/64" vinyl insulation as approved for direct underground burial in 30 volt AC or less service by the National Electrical Code. Where valve wired from two or more controllers are in the same ditch, wired are to be color coded. This color coding to be noted on record drawings.

EXPANSION COILS

- Expansion coils, which are to consist of approximately 10 wraps of wire around 1" pipe, will be provided on each wire approximately every 100 feet. Wires are to be bundled and taped together every 10 feet. Provide expansion coil at each electric valve inside the valve box.

WIRE SPLICES

- All wire splices shall be made with a mechanical connector and waterproofed according to the manufacturer's specification. The wire splice shall be Spear's "Dry Splice," 3M "Scotch Lock," or 3M DBY wire splice. All wire splices shall be in valve boxes, and no directly buried or underground splices will be accepted.

PART 3 - EXECUTION

INSTALLATION GENERAL

- Before installation is started, the Contractor shall place a flag where each sprinkler head, quick coupler valve, and electric valves are to be located in accordance with the plans. The flagging shall be approved by the representative before the installation is started. Should a discrepancy in the plans become apparent at this time, such discrepancy shall be pointed out to the representative. Work must not proceed until the representative approves any design changes made necessary by such discrepancy. Should such changes create extra cost to the Contractor, approval for extra compensation shall be obtained in writing from the representative before commencing work. Should such changes create a savings in cost to the Contractor, a written reduction in the contract price shall be approved by the representative in writing before commencing work.
- The Contractor is cautioned to provide adequate protection to those using the site. Provide barricades as necessary.
- All material shall be installed in strict accordance to the manufacturer's installation specifications that shall be considered a supplement to these specifications.
- Piping layout indicated is diagrammatic only. Route piping to avoid plants and structures. Provide full and complete coverage.
- Review layout requirements with other effected work. Coordinate locations of sleeves (under paving) to accommodate system.

EXCAVATION, BACKFILL, AND PROTECTION OF PLANT MATERIALS

- All excavation in this contract shall be unclassified and is to include earth, loose rock, rock, or any combination thereof, in wet or dry state. All trenches shall be backfilled with the material removed, except that no rock or debris that can damage the pipe shall be used as backfill. In this case, the special backfill specifications shall take precedence over this general specification (see 3.07). All trench backfill shall be water settled and compacted in order to prevent after settling. Use only the minimum amount of water necessary to settle ditches. Flooding of ditches without compaction will not be permitted. All trenches and adjoining areas shall be hand raked to finish grade. Remove rocks, excess dirt, and debris from the site.

PIPE INSTALLATION

- Main Line Piping: Pipe shall be installed in a 4" wide (minimum) trench with a minimum of 18" of cover.
- Lateral Piping: All PVC lateral line piping shall be solvent weld type. Install in 4" wide (minimum) trench deep enough to allow for installation of sprinkler heads and valves, but in no case with less than 12" of cover for rotary and/or spray zone laterals.
- PVC Pipe Installation:
 - All lumber, rubbish, and large rocks (over 2" diameter) shall be removed from the trenches. Pipe shall have a firm uniformed bearing for the entire length of each pipe line to prevent uneven settlement. Wedging or blocking of pipe will not be permitted. Pad the trenches with sand if the trench is rocky. Never lay PVC pipe when there is water in the trench. Never lay PVC pipe when the temperature is 32 degrees F. or below. Maximum 2 pipes per trench, with 1" horizontal clearance between pipes.
 - PVC Pipe and Fitting Assembly: Contractor shall use only the solvent supplied and recommended by the manufacturer of the PVC pipe to be installed on this project site to make any solvent welded joints. The pipe and fittings shall be thoroughly cleaned of dirt, dust and moisture before applying solvent. PVC pipe and fittings shall be cleaned with PVC primer or sanded with plumber's cloth before solvent welding. The Contractor shall make solvent welds with a non-synthetic bristly brush. Where threaded PVC connections are required, use threaded PVC adapters into which the pipe may be welded. Teflon tape will be used on threads.

AUTOMATIC CONTROLLER

- Automatic controller shall be supplied in accordance with the materials list and shall be located as shown on the plan. Contractor shall provide service into the controllers as part of this contract.

ELECTRIC VALVES

- Electric remote valves shall be supplied in accordance with the specifications and sized according to the plan. Valves shall be installed in a level position. Valves shall be installed deep enough so that there will be at least 10" of cover over the valve. Manufacturer's specifications and installation instructions for the valve supplied shall become a part of these specifications. A plastic valve box (with extension if necessary) shall be installed over the valve with the stem centered in the box to enable flow adjustment to be easily operated. A green plastic top shall be installed on the valve box flush with the final grade. Place 6" of gravel under each valve before installing valve box.

HEAD INSTALLATION

- Important: Backfill shall be specially tamped under the head flange and around the head for a distance of one foot by a suitable means, after trench backfill has dried from water settling. The purpose is to eliminate loose heads in the ground that would move when run over with mowers thereby creating a possible source of damage. All sprinkler heads shall be located 4" from back of vehicular curb and checked for proper operation and proper alignment for direction of throw. Rotary Heads: All rotary heads shall be installed 4" from back of vehicular curb using a full swing join with schedule 40 PVC threaded fittings and schedule 80 PVC nipples. The top of the head shall be no more than 1/4" above finished grade. Adjust partial circle arcs as required to complete coverage.

FINAL CLEAN-UP

- Upon completion of the work and before acceptance and final payment will be made, the Contractor shall clean and remove from the site of the work, his surplus and discarded materials, temporary structures and discarded materials and debris of every kind. He shall leave the site of the work in a neat and orderly condition equal to that which originally existed. Surplus and waste materials removed from the site of the work shall be disposed at locations satisfactory to the representative.

SYSTEM DEMONSTRATION

- Instruct owner's personnel in operation and maintenance of system, including adjusting of sprinkler heads. Use operation and maintenance material as basis for demonstration.

The John B. McAdams Company, Inc.
(DBA: G&A McAdams)
111 Hillside Drive
Lewisville, Texas 75057
972.436.9712
201 Country View Drive
Rowlett, Texas 75082
TBB# 18762 TBB S - 1019440
www.mcadamsco.com



McADAMS

GRANADA GUARD HOUSE

FINAL PLAT

Lot 88X, Block A

4.7258 Acres

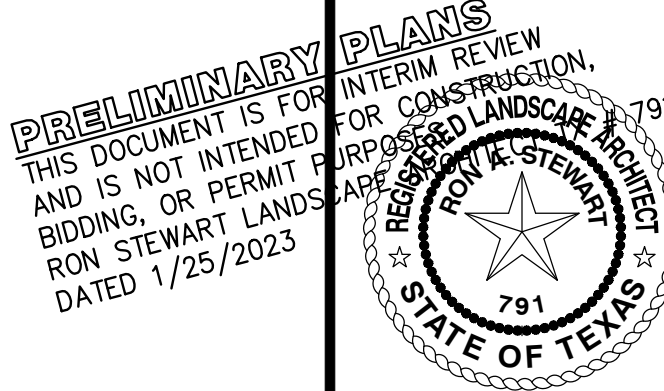
in the

C.M. THROOP SURVEY, ABSTRACT NO. 1510

TOWN OF WESTLAKE

TARRANT COUNTY, TEXAS

IRRIGATION



Drawn By: LH
Date: 01/25/2023
Scale: #####
Revisions:

SPEC22347

L5.00

OWNER/DEVELOPER
GREENSTREET
112 E 82ND STREET
LUBBOCK, TEXAS 79404
Ph. 800-620-2009
Contact: BRIAN KEY



Town of Westlake

Staff Report

1500 Solana Blvd
Building 7, Suite 7100
Westlake, TX 76262

File #: 23-96

Agenda Date: 3/21/2023

Agenda #: F.1.

TOWN STAFF REPORT RECCOMENDATIONS

Consider approving a Planning & Zoning Commission Minutes from February 13, 2023 and take appropriate action.

STAFF: Ron Ruthven, Director of Development and Planning

EXPLANATION

The Planning & Zoning Commission shall review and approve meeting minutes after each meeting.

STAFF RECOMMENDATION:

Staff recommends approving the minutes as presented.

PLANNING AND ZONING ACTION/OPTIONS:

- 1) Motion to recommend approval
- 2) Motion to recommend an amendment with the following stipulations (please state stipulations in motion)
- 3) Motion to table
- 4) Motion to recommend denial



**MINUTES OF THE
TOWN OF WESTLAKE, TEXAS
PLANNING AND ZONING COMMISSION MEETING
FEBRUARY 13, 2023**

PRESENT: Commission Chair Victor Sansone III, Commissioners, Adam Coffey, Tammy Reeves, Linda Bjorn

ABSENT: Commissioners, Michelle Lee, Ken Kraska

STAFF PRESENT: Planning & Development Director Ron Ruthven, Planning & Development Coordinator Dottie Samaniego, It Director Jason Power

A. CALL TO ORDER

Commission Chair Sansone called the regular session to order at 5:24 p.m.

B. PLEDGE OF ALLEGIANCE

Commission Chair Sansone led the pledge of allegiance and pledge to the Texas flag.

C. CITIZEN COMMENTS

No one addressed the Commission.

D. PUBLIC HEARING(S)

D.1. 23-40

**AGENDA ITEM D.1. – CONDUCT A PUBLIC HEARING AND
CONSIDER A RECOMMENDATION OF A REPLAT FOR BLOCK J
LOT 1, WESTLAKE ENTRADA ADDITION**

Development Director Ron Ruthven presented Item D.1.

Commission Chair Sansone opened the Public Hearing. No one addressed the Commission. Commission Chair Sansone closed the Public Hearing.

Commission Chair Sansone asked for a motion to approve Item D.1.

MOTION: Commissioner Coffey made a motion to approve. Commission Chair Sansone seconded the motion. The motion carried by a Vote 4-0.

D.2. 23-54

AGENDA ITEM D.2 – CONDUCT A PUBLIC HEARING AND CONSIDER A RECOMMENDATION OF A REPLAT FOR BLOCK L LOT 1, WESTLAKE ENTRADA ADDITION

Development Director Ron Ruthven presented Item D.2.

Commission Chair Sansone opened the Public Hearing. No one addressed the Commission. Chair Sansone closed the Public Hearing.

Commission Chair Sansone asked for a motion to approve Item D.2.

MOTION: Commissioner Reeves made a motion to approve. Commissioner Coffey seconded the motion. The motion carried by a Vote 4-0.

D.3. 23-62

AGENDA ITEM D.3 – CONDUCT A PUBLIC HEARING AND CONSIDER A RECOMMENDATION FOR APPROVAL OF A PD SITE PLAN OF AN APPROXIMATELY 0.729-ACRE PORTION OF PLANNED DEVELOPMENT DISTRICT 3, PLANNING AREA 11 (PD3-11), ESTABLISHED BY ORDINANCE 593. THE PD SITE PLAN IS FOR DUTCH BROTHERS COFFEE TO BE LOCATED ALONG THE WEST SIDE OF US HIGHWAY 377 NORTH OF STATE HIGHWAY 170.

Development Director Ron Ruthven and applicant representative, Tony Scardino presented Item D.3.

Commission Chair Sansone opened the Public Hearing. No one addressed the Commission. Commission Chair Sansone closed the Public Hearing.

Commission Chair Sansone asked for a motion to approve Item D.3.

MOTION: Commissioner Coffey made a motion to approve. Commissioner Sansone seconded the motion. The motion carried by a Vote 4-0.

D.4. 23/70 **AGENDA ITEM D.4 – CONDUCT A PUBLIC HEARING AND CONSIDER A RECOMMENDATION FOR A ZONING CHANGE REQUEST FROM O-OFFICE PARK DISTRICT TO PLANNED DEVELOPMENT DISTRICT NUMBER 8 (PD8), INCLUDING A CONCEPT PLAN, TO ALLOW FOR A HOTEL TO BE LOCATED ON THE PORTION OF LOT 1, C.M. THROOP NO. 151:0 ADDITION THAT IS LOCATED WITHIN THE TOWN OF WESTLAKE. THE SUBJECT PROPERTY IS LOCATED AT 3300 T.W. KING ROAD AT THE NORTHWEST CORNER OF T.W. KING ROAD AND STATE HIGHWAY 114.**

Director Ron Ruthven presented Item D.4.

Commission Chair Sansone opened the Public Hearing. No one addressed the Commission. Commission Chair Sansone closed the Public Hearing.

Commissioner Chair Sansone asked for a motion to approve Item D.4.

MOTION: Commissioner Bjorn made a motion to approve. Commissioner Coffey seconded the motion. The motion carried by a Vote 4-0.

D.5. 23-72 **AGENDA ITEM D.5. - CONDUCT A PUBLIC HEARING AND CONSIDER A RECOMMENDATION FOR A ZONING CHANGE REQUEST FROM THE R-5 COUNTRY RESIDENTIAL DISTRICT TO PLANNED DEVELOPMENT DISTRICT NUMBER 9 (PD9) FOR 37.514 ACRES OF LAND LOCATED AT THE SOUTHWEST CORNER OF PEARSON LANE AND DOVE ROAD, TO INCLUDE PRIMARILY SINGLE-FAMILY RESIDENTIAL USES, INCLUDING A REQUEST FOR APPROVAL OF A CONCEPT AND DEVELOPMENT PLAN, AND A SPECIFIC USE PERMIT FOR PRIVATE STREETS**

Development Director Ron Ruthven, Curtis Young, Kristin and Joe Bonola and Angela Hough presented Item D.5.

Commission Chair Sansone opened the Public Hearing. No one addressed the Commission. Commission Chair Sansone closed the Public Hearing.

Commission Chair Sansone asked for a motion to approve Item D.5.

MOTION: Commissioner Coffey made a motion to approve. Commissioner Bjorn seconded the motion. The motion carried by a Vote 4-0 with staff recommendations.

E. REGULAR AGENDA ITEM(S)

E.1. 23-67 AGENDA ITEM E.1. – CONSIDER APPROVING THE MINUTES FROM THE NOVEMBER 29, 2022, PLANNING AND ZONING COMMISSION MEETING

Commissioner Chair Sansone asked for a motion to approve Item E.1.

MOTION: Commission Chair Reeves made a motion to approve. Commissioner Coffey seconded the motion. The motion carried by a Vote 4-0.

E.2. 23-39 AGENDA ITEM E.2. - CONSIDER APPROVING THE PLANNING AND ZONING COMMISSION BY LAWS; AND TAKE APPROPRIATE ACTION

Development Director Ron Ruthven presented Item #10.

Commission Chair Sansone asked for a motion to approve Item E2.

MOTION: Commissioner Coffey made a motion to approve. Commissioner Reeves seconded the motion. The motion carried by a Vote 4-0.

F. ADJOURNMENT

There being no further business to come before the Commissioners. Commission Chair Sansone asked for a motion for adjournment.

MOTION: Commissioner Coffey made a motion to adjourn. Commissioner Reeves seconded the motion. The motion carried by a Vote 4-0.

Commission Chair Sansone adjourned the meeting at 6:34 p.m.

APPROVED BY THE PLANNING AND ZONING COMMISSION ON MARCH 21, 2023.

ATTESTED BY:

Dottie Samaniego, Recording Secretary

Commission Chair, Victor Sansone III